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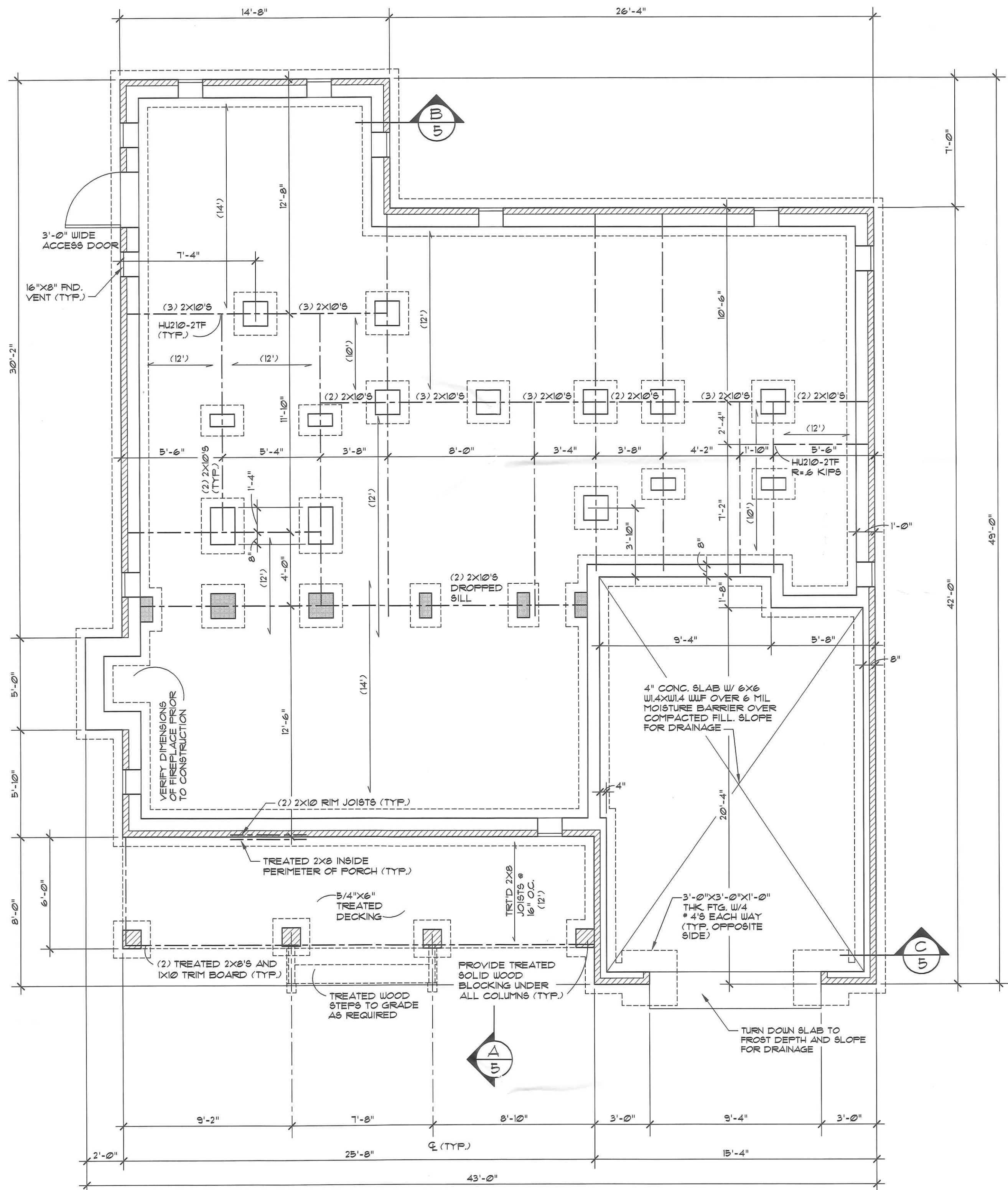
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DESIGN NO.
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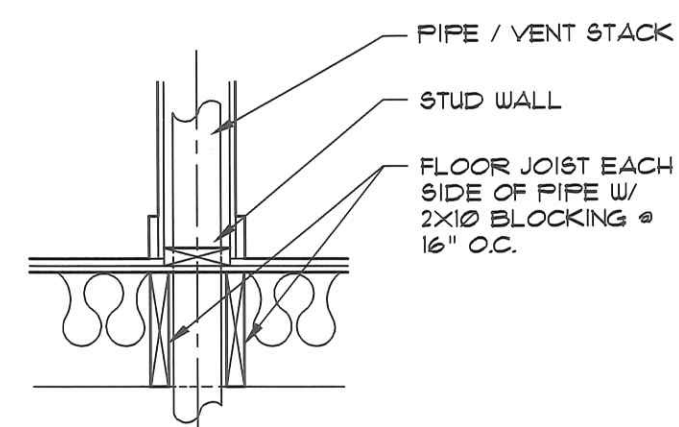
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COVERSHEET



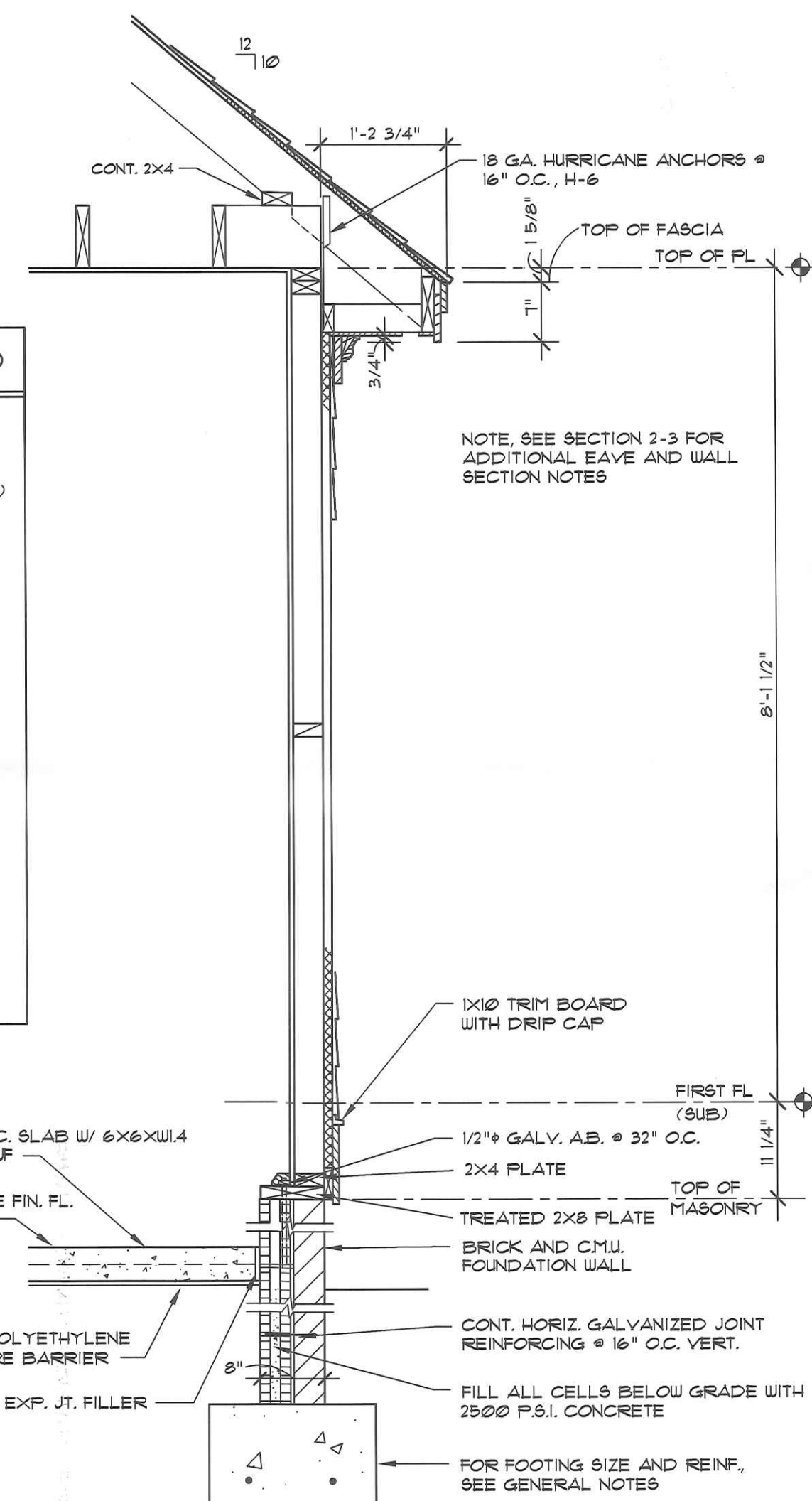
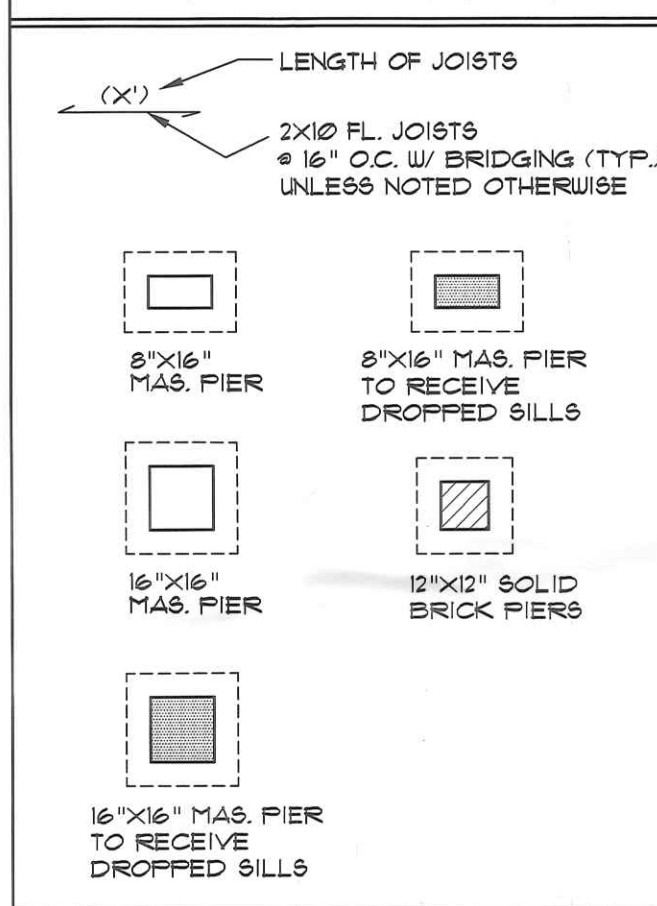
FOUNDATION AND FLOOR FRAMING PLAN

NOTE: IN LIEU OF INSTALLING 6 MIL POLYETHYLENE MOISTURE BARRIER IN CRAWL SPACE, CONTRACTOR MAY PROVIDE A TOTAL OF (17) 16" X 28" FOUNDATION VENTS (ASSUMED 50% NET FREE AREA PER VENT)

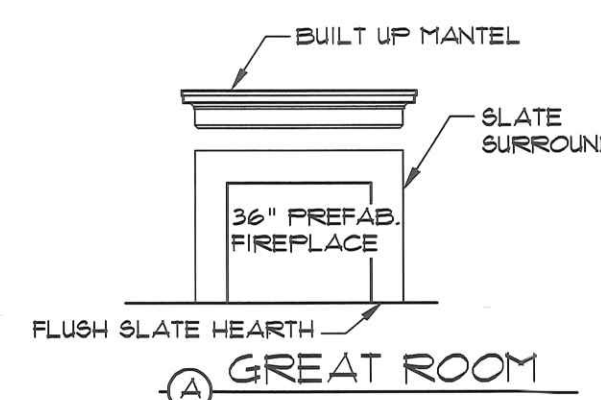


TYPICAL PIPE THRU FLOOR
NOT TO SCALE

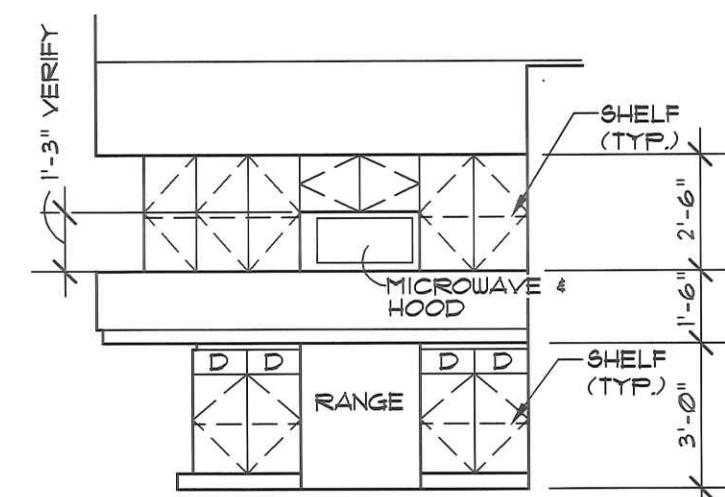
FOUNDATION LEGEND



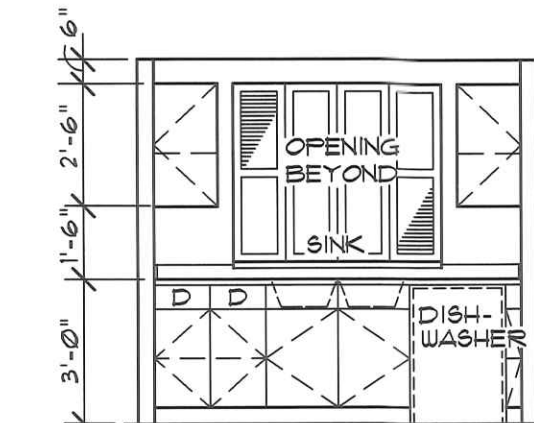
WALL SECTION



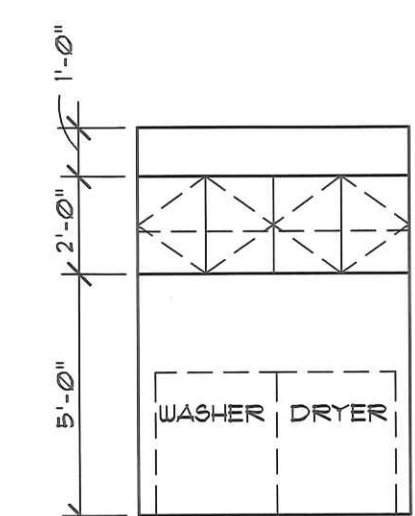
GREAT ROOM



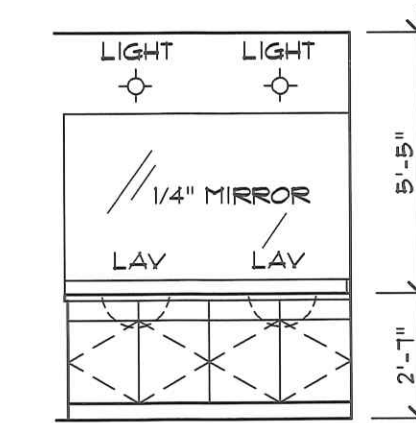
KITCHEN



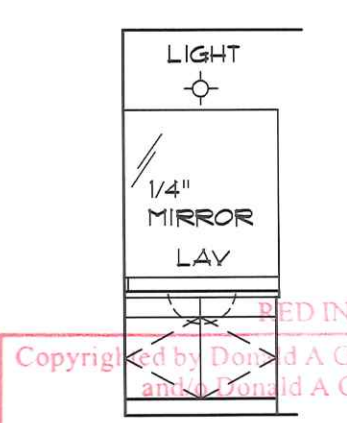
KITCHEN



UTILITY



MASTER BATH



BATH #2

INTERIOR ELEVATIONS

GENERAL NOTES

A. GENERAL:

1. PLANS CONFORM TO "CABO ONE AND TWO FAMILY DWELLING CODE" WHICH COMPLIES WITH "BOCA NATIONAL BUILDING CODE", AND "UNIFORM BUILDING CODE". HOWEVER, MODIFICATIONS MAY BE NECESSARY TO COMPLY WITH LOCAL AND STATE CODES.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
3. CONTRACTOR SHALL COMPLY WITH THE CONTENTS OF THE SPECIFICATIONS FOR THIS HOUSE.
4. ALL WOOD USED IN CONSTRUCTION OF DECKS AND STEPS SHALL BE TREATED. FASTENERS FOR TREATED WOOD (NAILS, BOLTS, HARDWARE, ETC.) SHALL BE GALVANIZED.
5. CONTRACTOR SHALL INSTALL GROUND FAULT INTERRUPT OUTLETS AS PER CODE.
6. INSTALL ROOFING MATERIALS ACCORDING TO MANUFACTURERS RECOMMENDATIONS FOR THE AREA AND CLIMATE, INCLUDING BUT NOT LIMITED TO SHINGLES, TILES, FELTS, FLASHING, AND FASTENING DEVICES.
7. HEARTH DIMENSIONS DETERMINED BY CODE.

B. FRAMING:

1. JOIST SPANS WERE DETERMINED ON THE BASIS OF THE ALLOWABLE STRESSES IN THE "1991" GRADING RULES OF THE SOUTHERN PINE INSPECTION BUREAU" GRADE NUMBER TWO (2) KILN DRIED.
2. PROVIDE DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, ABOVE AND AROUND ALL OPENINGS NOT INDICATED ON DRAWINGS.
3. PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER WALLS THAT ARE PERPENDICULAR TO FLOOR JOISTS.

C. VENTILATION:

1. PROVIDE CONTINUOUS RIDGE VENTS ON ALL ROOFS.
2. PROVIDE CONTINUOUS ROOF TO WALL VENTS AT ALL JUNCTURES OF SLOPED ROOFS AND VERTICAL WALLS.

D. FOOTINGS:

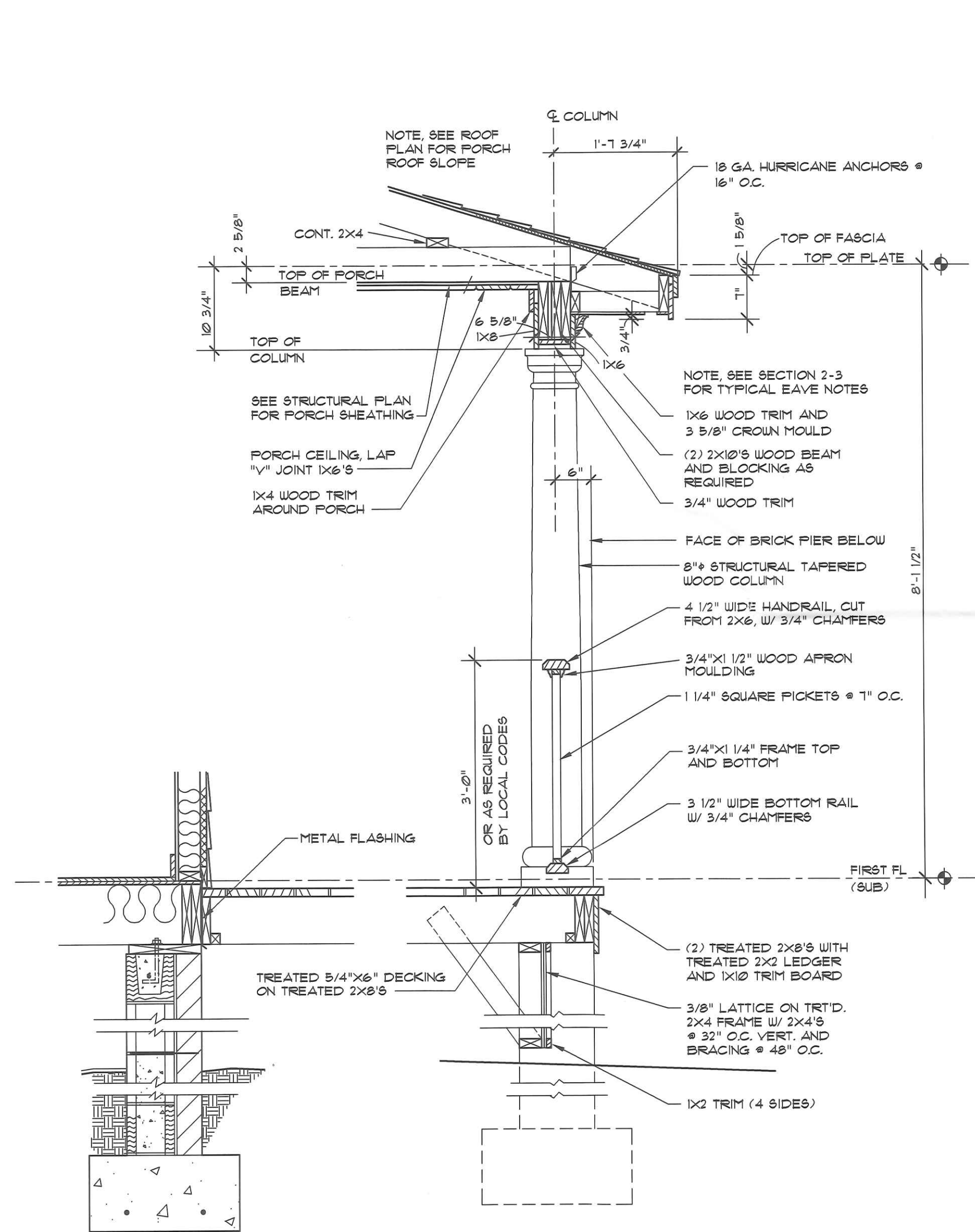
1. CARRY ALL FOOTINGS TO FIRM UNDISTURBED BEARING.
2. 16" X 12" FOOTING FOR 8" FOUNDATION WALL WITH (2) #4 REIN. RODS CONTINUOUS.
3. 24" X 12" FOOTING FOR 12" FOUNDATION WALL WITH (2) #4 REIN. RODS CONTINUOUS.

E. PIER FOOTINGS:

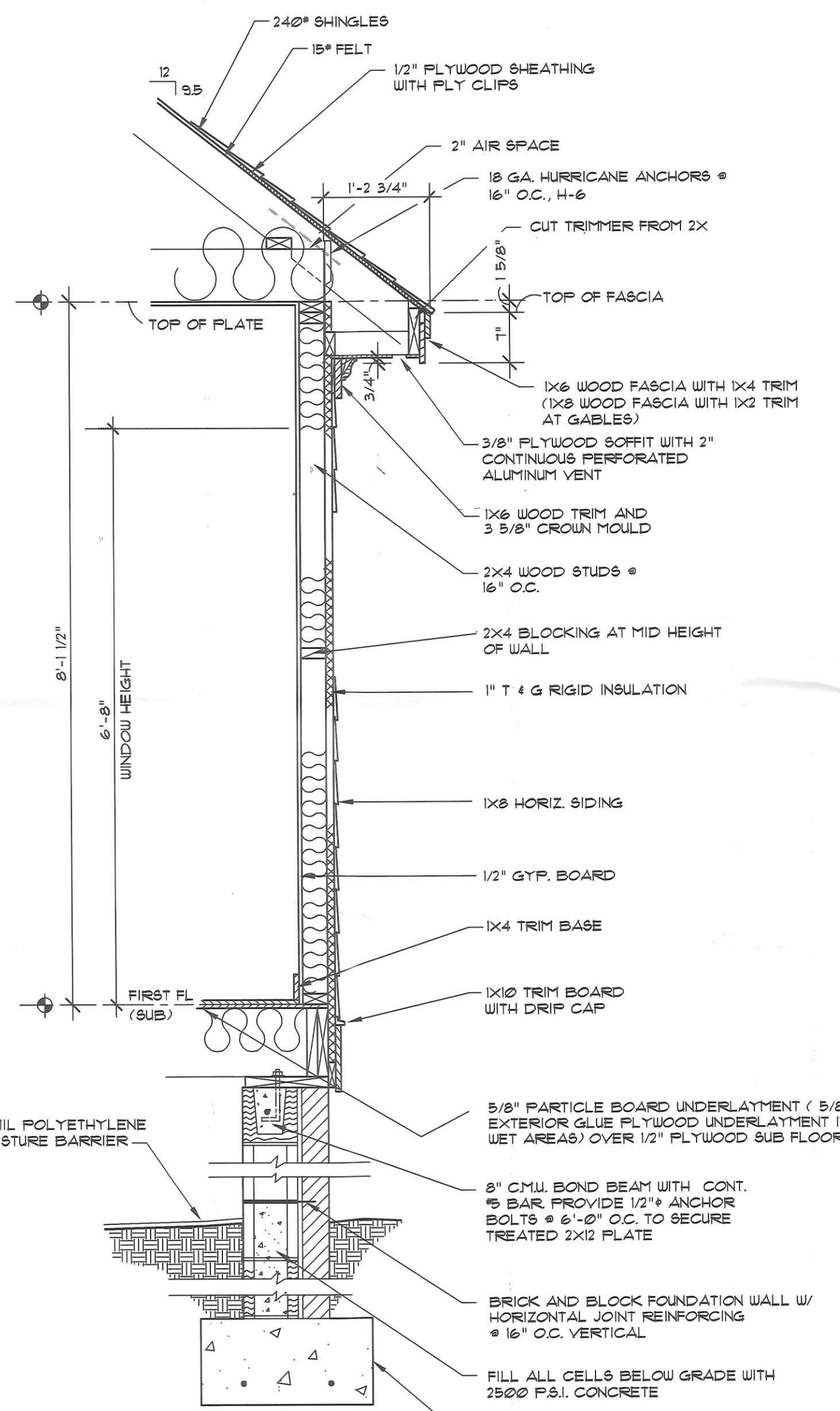
1. PIER FOOTINGS (TYPICAL UNLESS NOTED OTHERWISE)
2. PROVIDE 1'-8" X 2'-4" X 1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 8" X 16" MASONRY PIERS.
3. PROVIDE 2'-4" SQUARE X 1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 16" SQUARE MASONRY PIERS.
4. PROVIDE 2'-0" X 2'-0" X 1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 12" SQUARE MASONRY PIERS.
5. HEIGHT OF PIERS:
 - A. PIERS LESS THAN 36" IN HEIGHT MAY BE 8" X 16" OR AS NOTED ON FOUNDATION PLAN.
 - B. PIERS BETWEEN 36" AND 80" IN HEIGHT SHALL BE A MINIMUM OF 16" X 16".
 - C. PIERS GREATER THAN 80" IN HEIGHT SHALL BE A MINIMUM OF 16" X 16" WITH (4) CONTINUOUS #5 BARS.

F. CHIMNEY CONSTRUCTION:

1. USE 15/32" STRUCTURAL GRADE 2 PLYWOOD SHEATHING.
2. SPLICE ONLY ONE CORNER STUD AT ANY SPLICE. STAGGER SPLICES AT LEAST 3'-0" AND USE (4) STUDS PER CORNER.
3. USE 10d NAILS # 4" O.C. AROUND ALL PLYWOOD EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS.
4. PROVIDE BLOCKING BETWEEN STUDS AT 4'-0" INTERVALS.
5. CONTRACTOR TO VERIFY CHIMNEY FINISH MATERIAL WITH OWNER PRIOR TO CONSTRUCTION. IF BRICK MASONRY IS REQUIRED, CONTRACTOR TO MODIFY CONSTRUCTION OF FIREPLACE AND CHIMNEY AS REQUIRED.



1 WALL SECTION 3/4" = 1'-0"



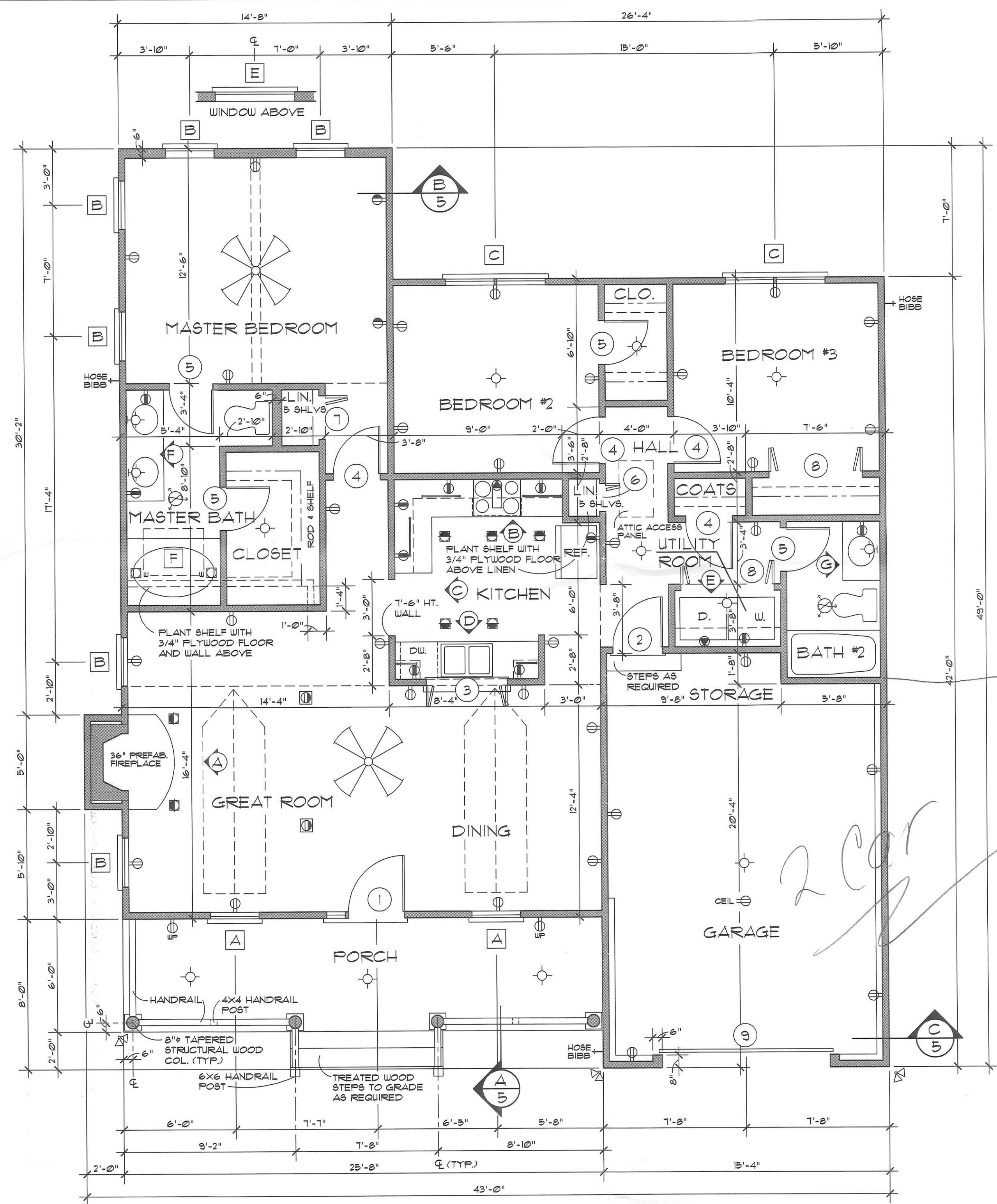
2 WALL SECTION 3/4" = 1'-0"

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET
	WALL SWITCH CONTROLLED DUPLEX OUTLET
	ABOVE COUNTER LOCATION
	FLUSH FLOOR WALL SWITCH CONTROLLED DUPLEX OUTLET, OWNER VERIFY LOCATION
	220 VOLT OUTLET OR CONNECTION
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	SUSPENDED CEILING MOUNTED LIGHT FIXTURE
	RECESSED DIRECTIONAL CEILING LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	RECESSED LIGHT FOR WET AREA
	UNDER COUNTER FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED PADDLE FAN W/ LIGHT
	CEILING MOUNTED FAN - EXHAUST
	CEILING MOUNTED FAN AND HEATER
	CEILING MOUNTED FAN, LIGHT, AND HEATER

DOOR SCHEDULE				SYMBOL
MARK	SIZE	QUAN.	DESCRIPTION	
1	3'-0" x 6'-8"	1	EXT. W/ 12" SIDELIGHT	
2	2'-8" x 6'-8"	1	EXT. 1 HR. FIRE RATED	
3	4'-4" x 3'-8"	1	INT. BI-FOLD	
4	2'-6" x 6'-8"	4	INT.	
5	2'-4" x 6'-8"	4	INT.	
6	1'-6" x 6'-8"	1	INT. BI-FOLD	
7	2'-4" x 6'-8"	1	INT. BI-FOLD	
8	5'-0" x 6'-8"	2	INT. BI-FOLD	
9	9'-0" x 1'-0"	1	GARAGE	

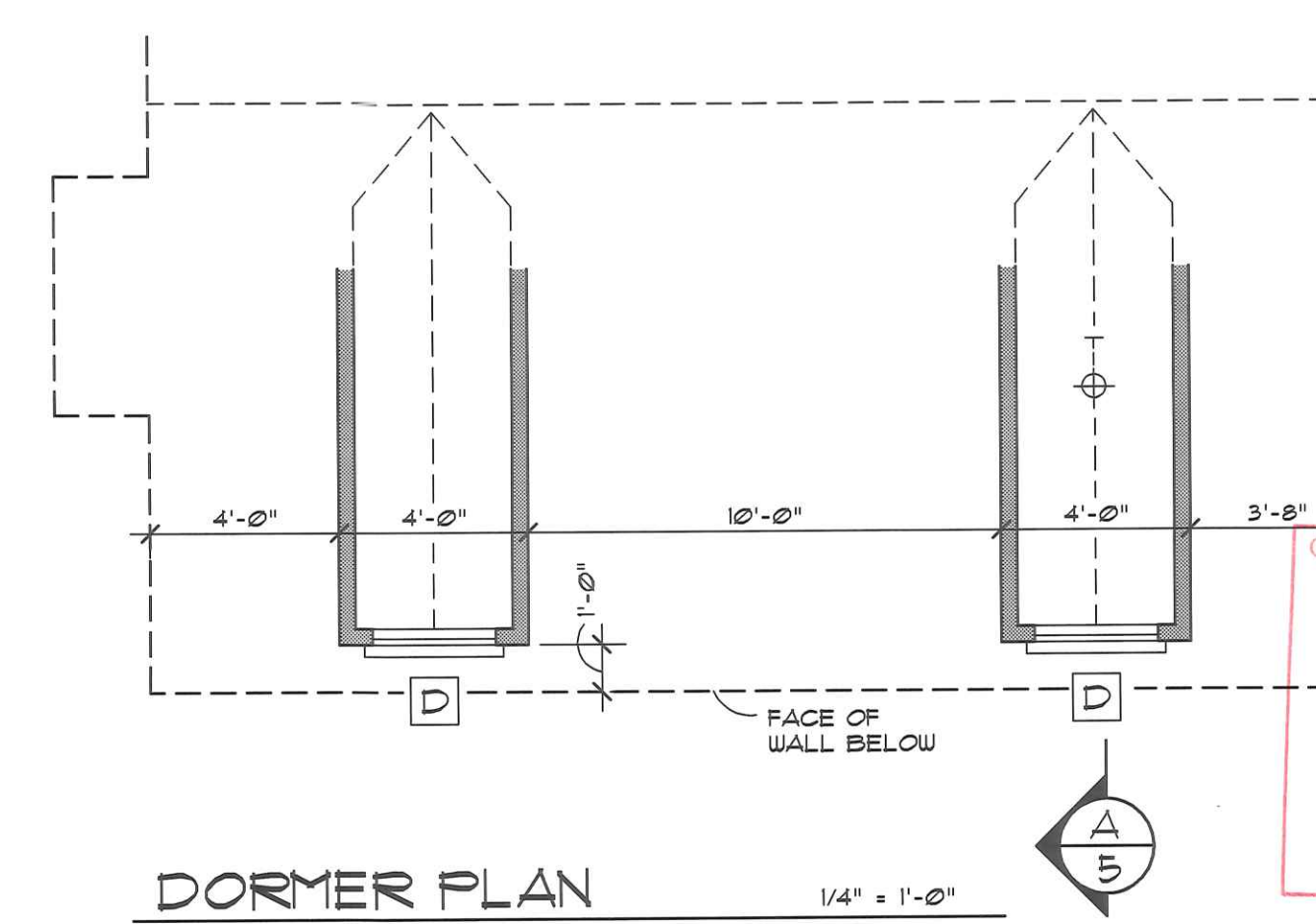
WINDOW SCHEDULE				SYMBOL
MARK	SIZE	QUAN.	DESCRIPTION	
A	2'-8" x 6'-2"	2	DH	
B	2'-8" x 5'-2"	6	DH	
C	(2) 2'-8" x 5'-2"	2	DH	
D	2'-8" x 4'-6"	2	DH	
E	4'-4" DIAMETER	1	CIR	
F	2'-6 1/2" x 3'-3"	1	VELUX SKYLIGHT, V8-304	

VERIFY LOCAL CODE EGRESS WINDOW REQUIREMENTS PRIOR TO CONSTRUCTION
ALL WINDOWS ARE WEATHERSTRIPPED AND INSULATED BY MANUFACTURER



FLOOR PLAN 1/4" = 1'-0"

TOTAL LIVING 1306 sq. ft.
GARAGE & STORAGE 323 sq. ft.



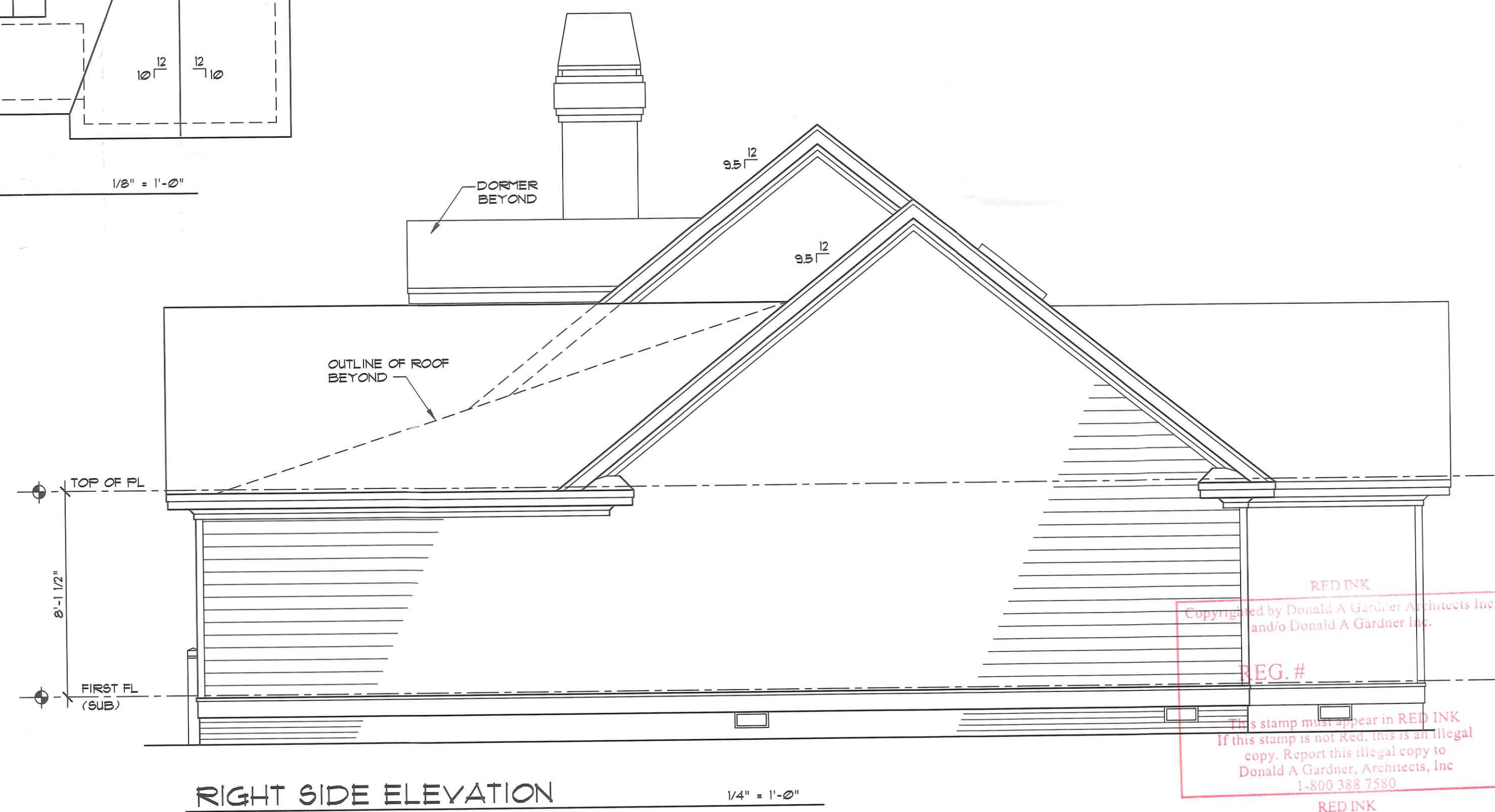
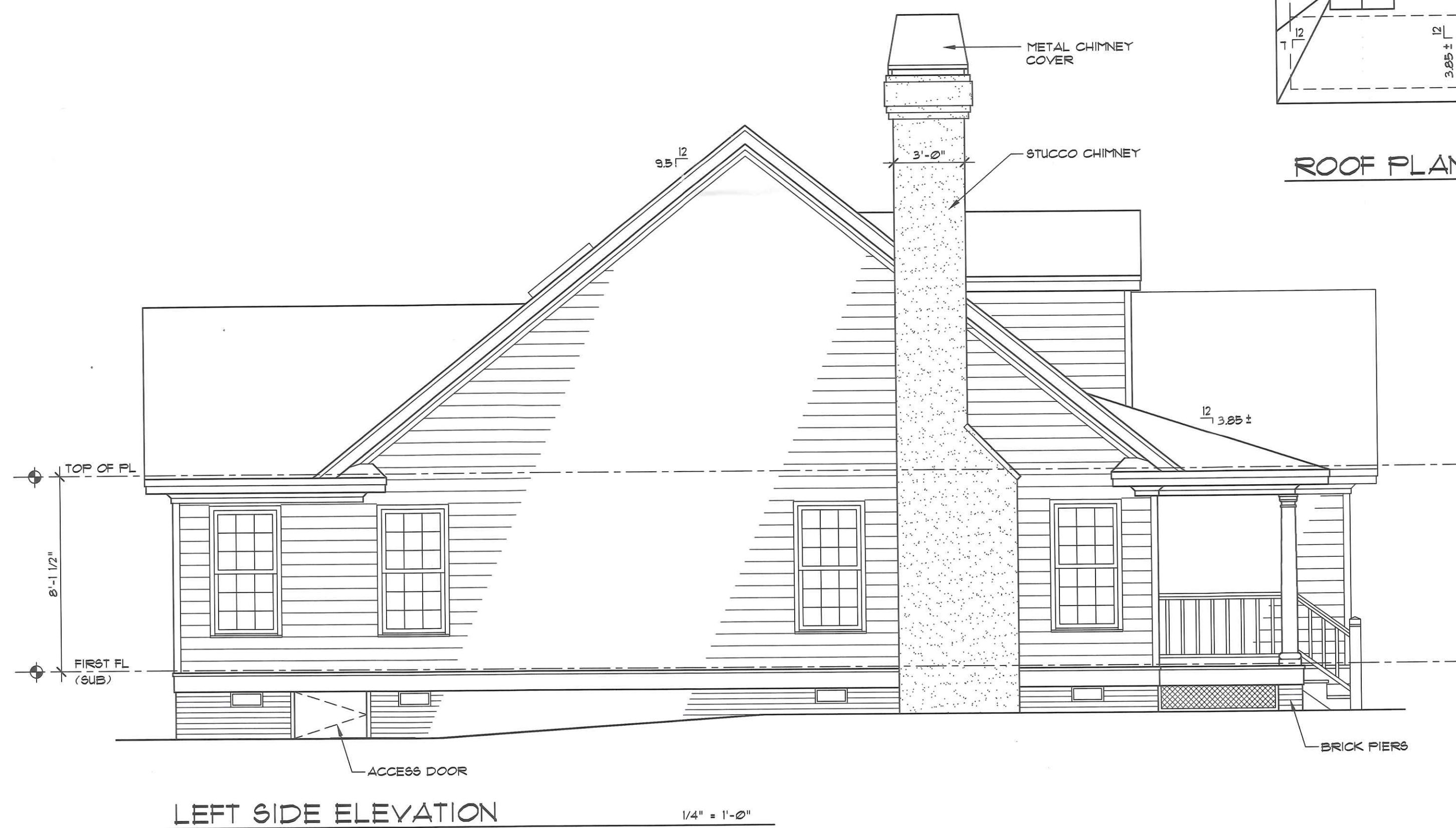
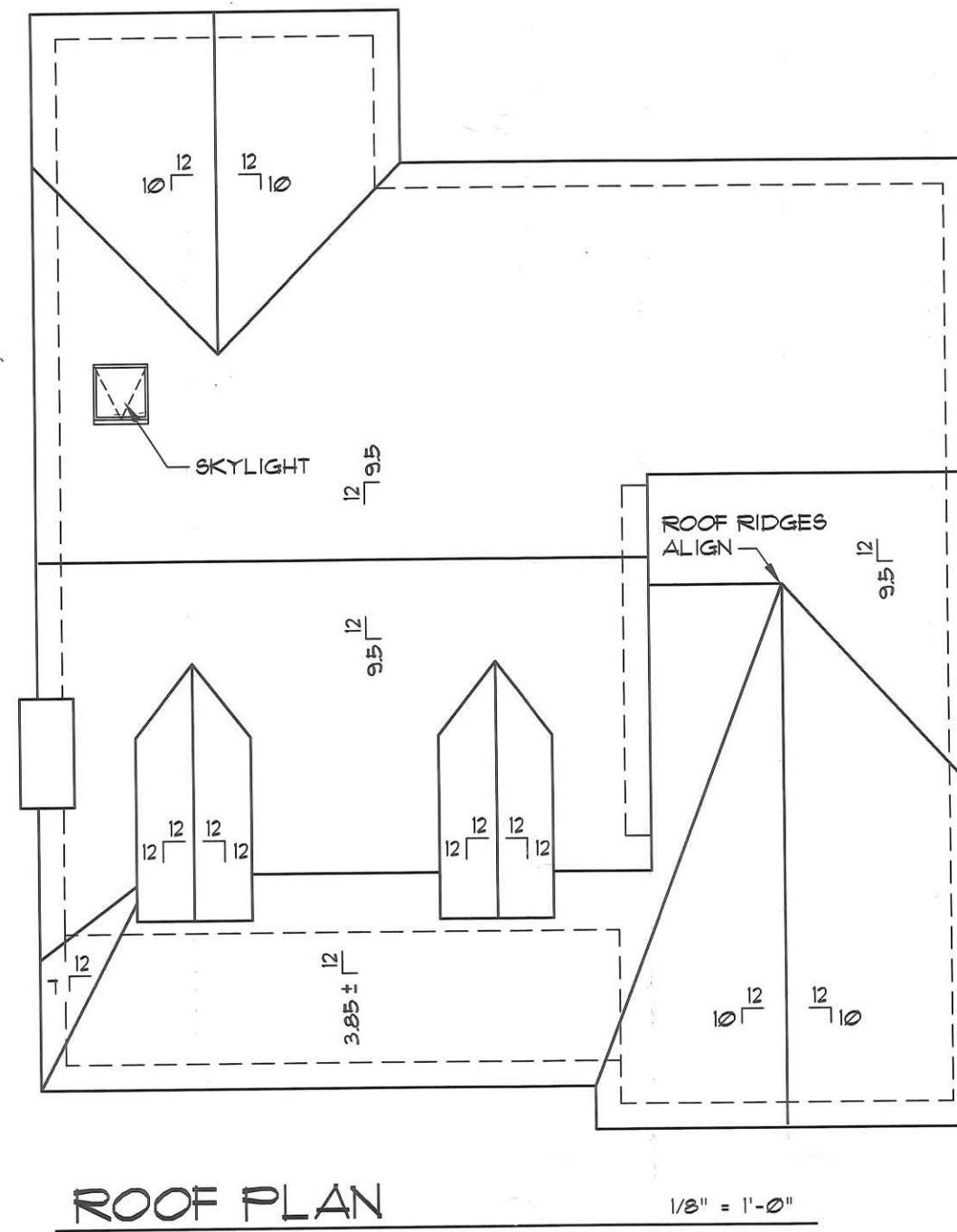
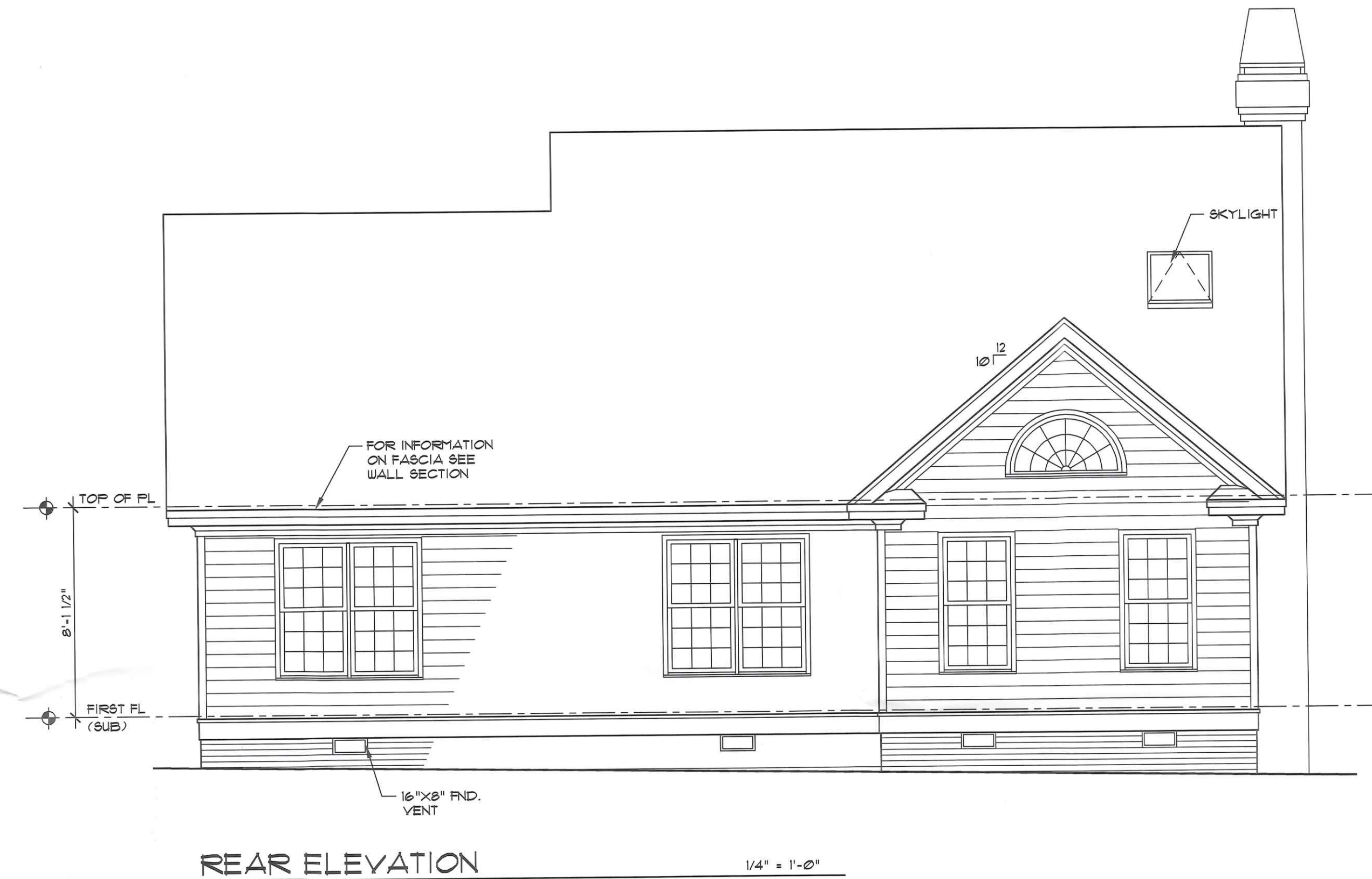
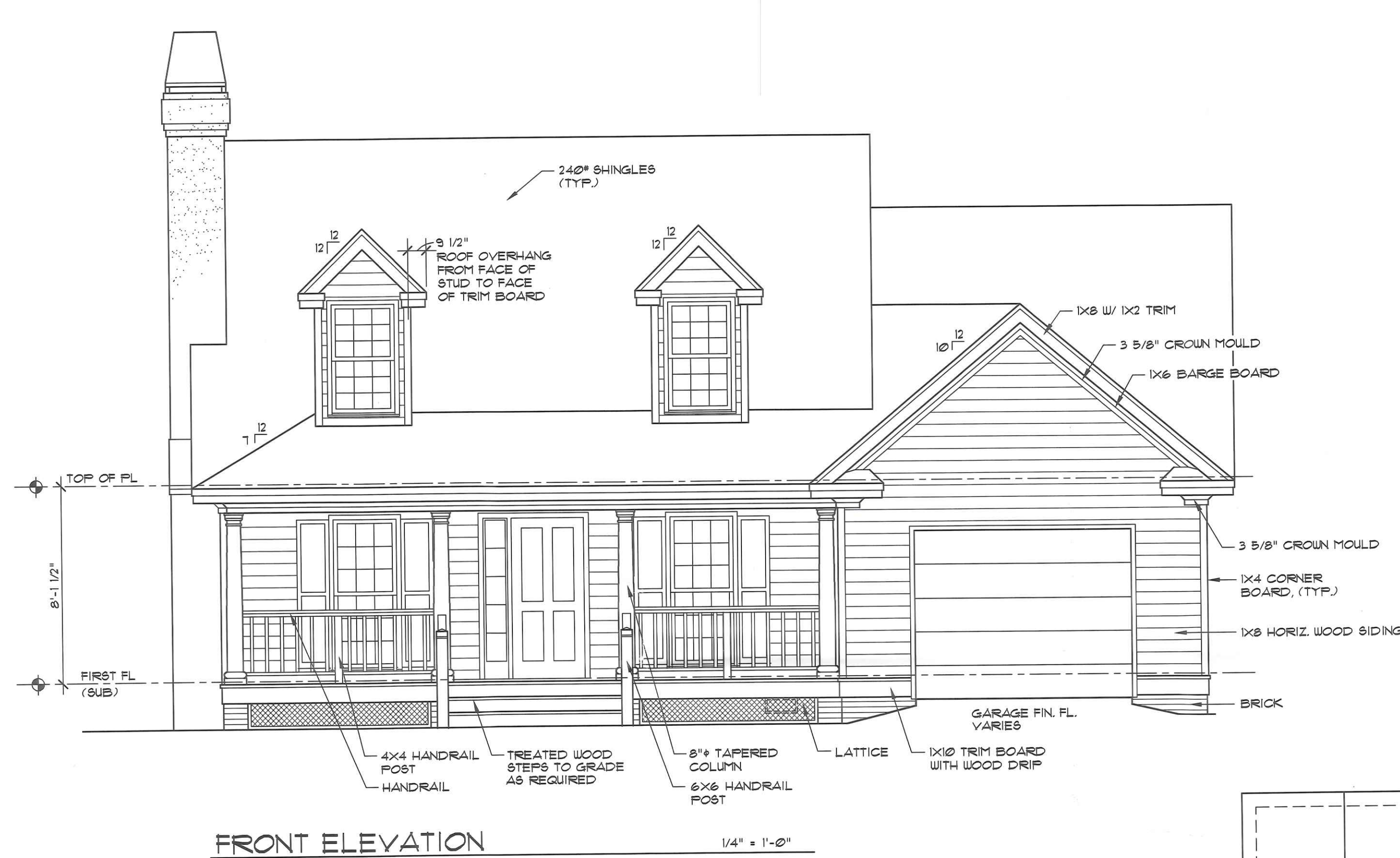
DORMER PLAN 1/4" = 1'-0"

PLAN NOTES:

1. VERIFY ALL LOCAL CODES, ENERGY TYPES, AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
2. REVIEW SELECTED MECHANICAL SYSTEMS WITH OWNER PRIOR TO CONSTRUCTION. RECOMMENDED LOCATIONS ARE AS FOLLOWS: THE WATER HEATER MAY TYPICALLY BE PLACED IN THE CRAWL SPACE OR IN THE GARAGE. H.V.A.C. UNIT(S) MAY TYPICALLY BE PLACED IN THE CRAWL SPACE OR THE ATTIC. H.V.A.C. EQUIPMENT IN ATTIC SPACE SHALL BE ACCESSIBLE BY AN OPENING AS LARGE AS THE LARGEST PIECE OF EQUIPMENT AND IN NO CASE LESS THAN 22"x36".
3. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
4. INSULATE AROUND ALL BATHS AND UTILITY ROOM.
5. TYPICAL WALL, 2X4'S @ 16" O.C., UNLESS OTHERWISE DIMENSIONED.
6. PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.
7. PROVIDE DOORBELLS, TRANSFORMER, AND CHIME.

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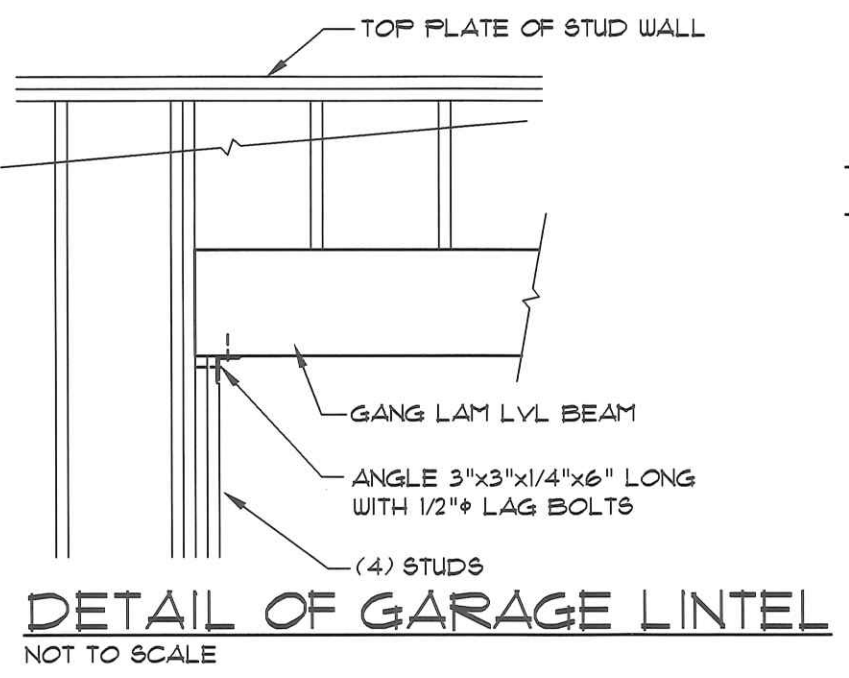
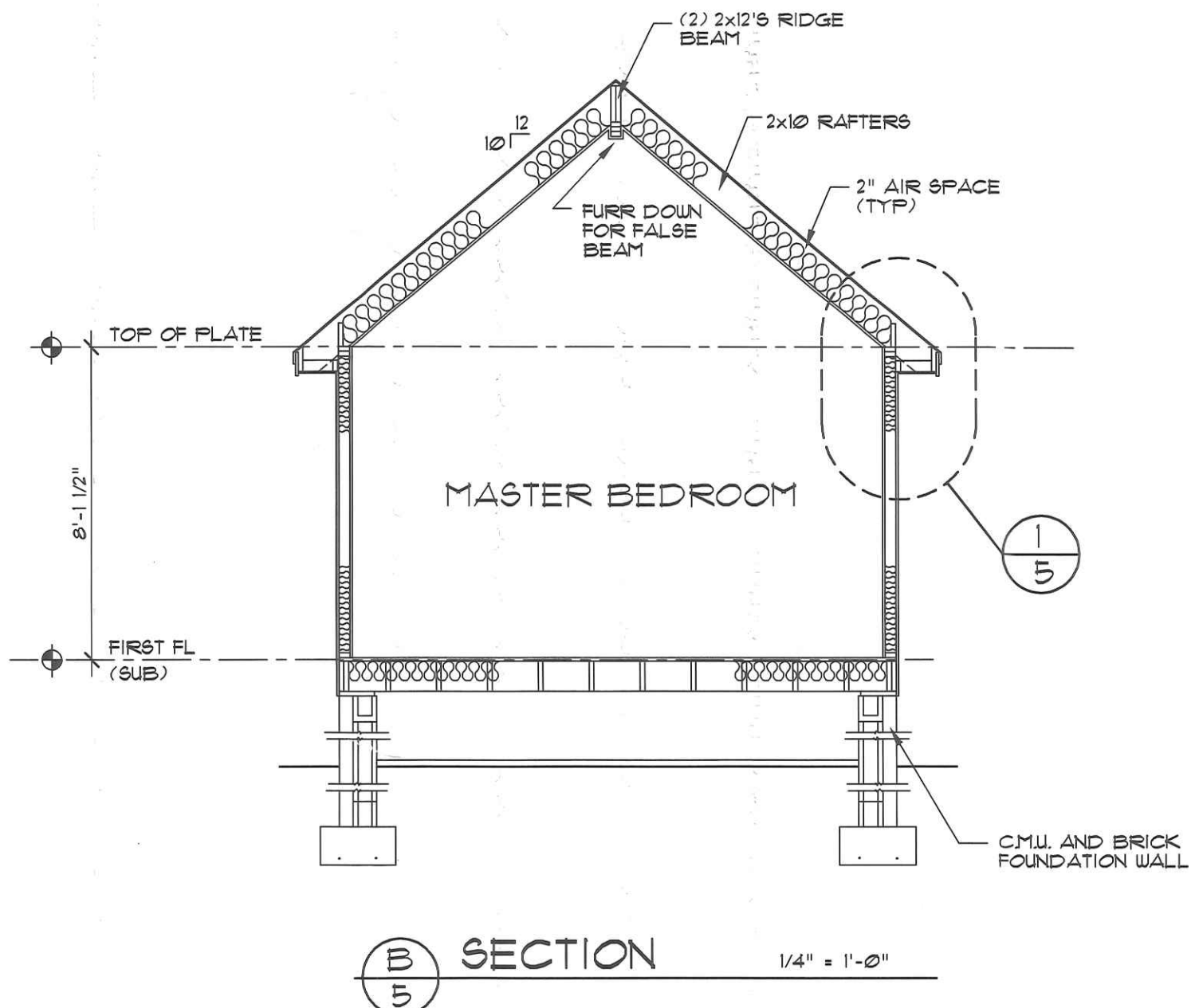
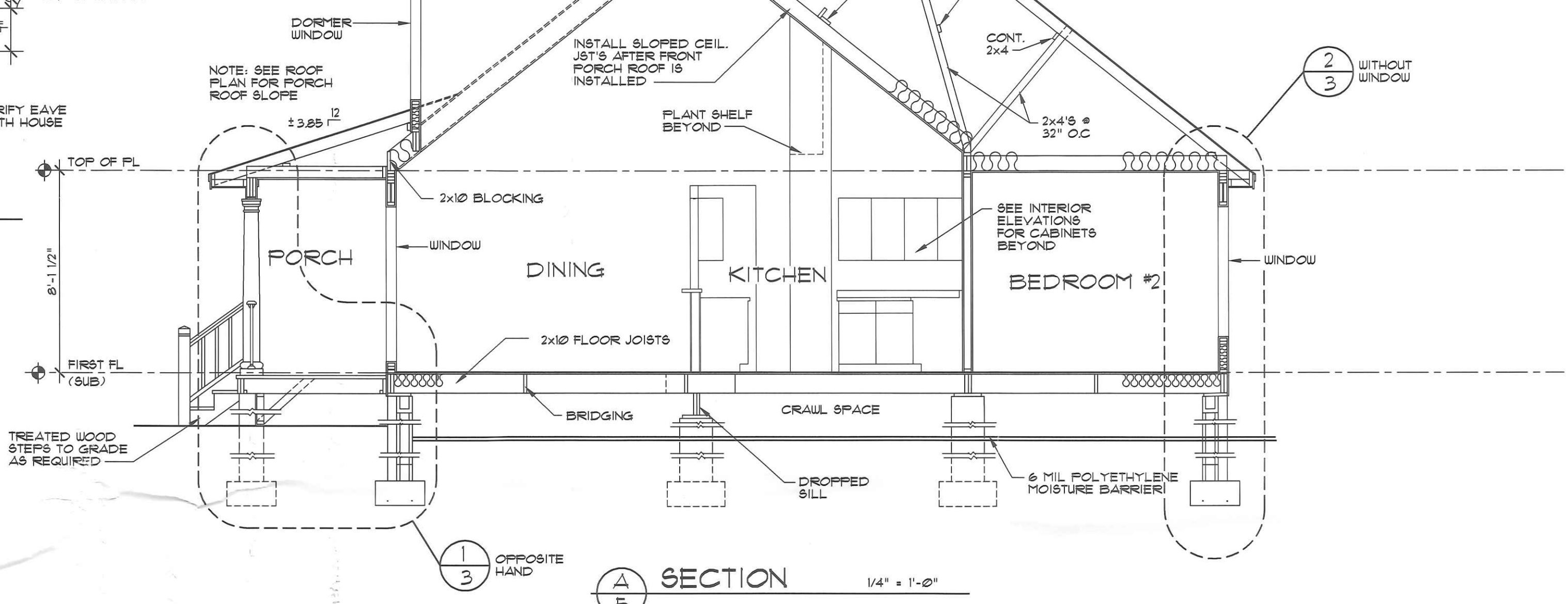
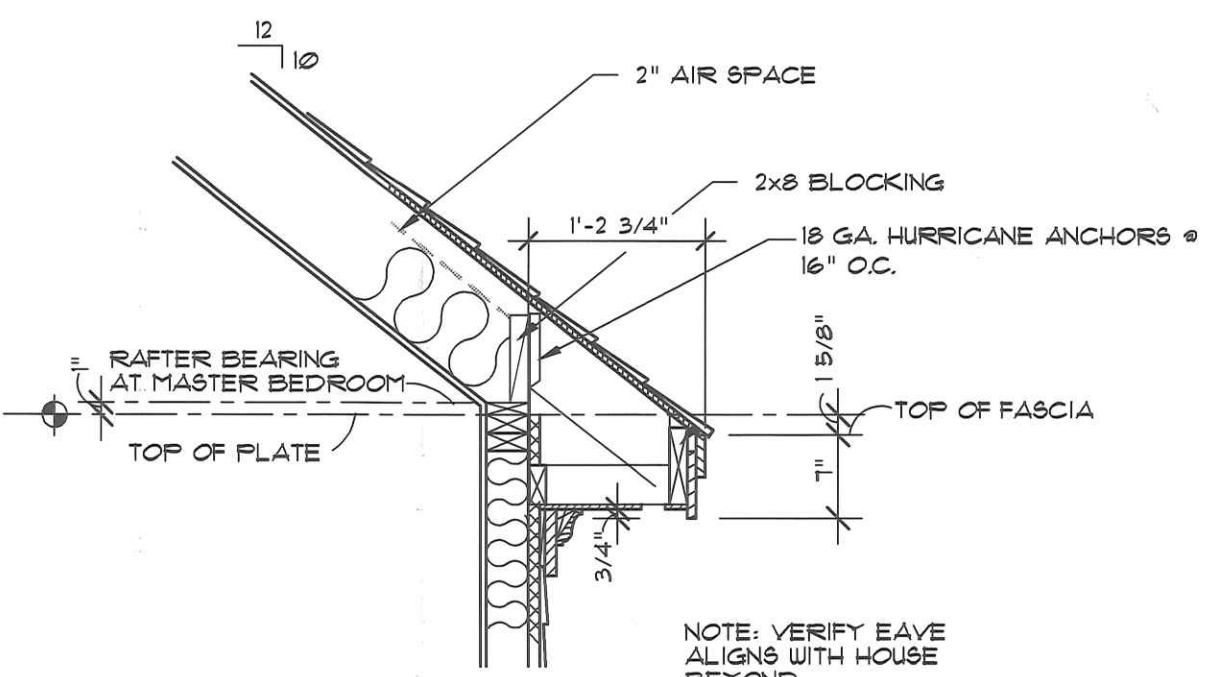
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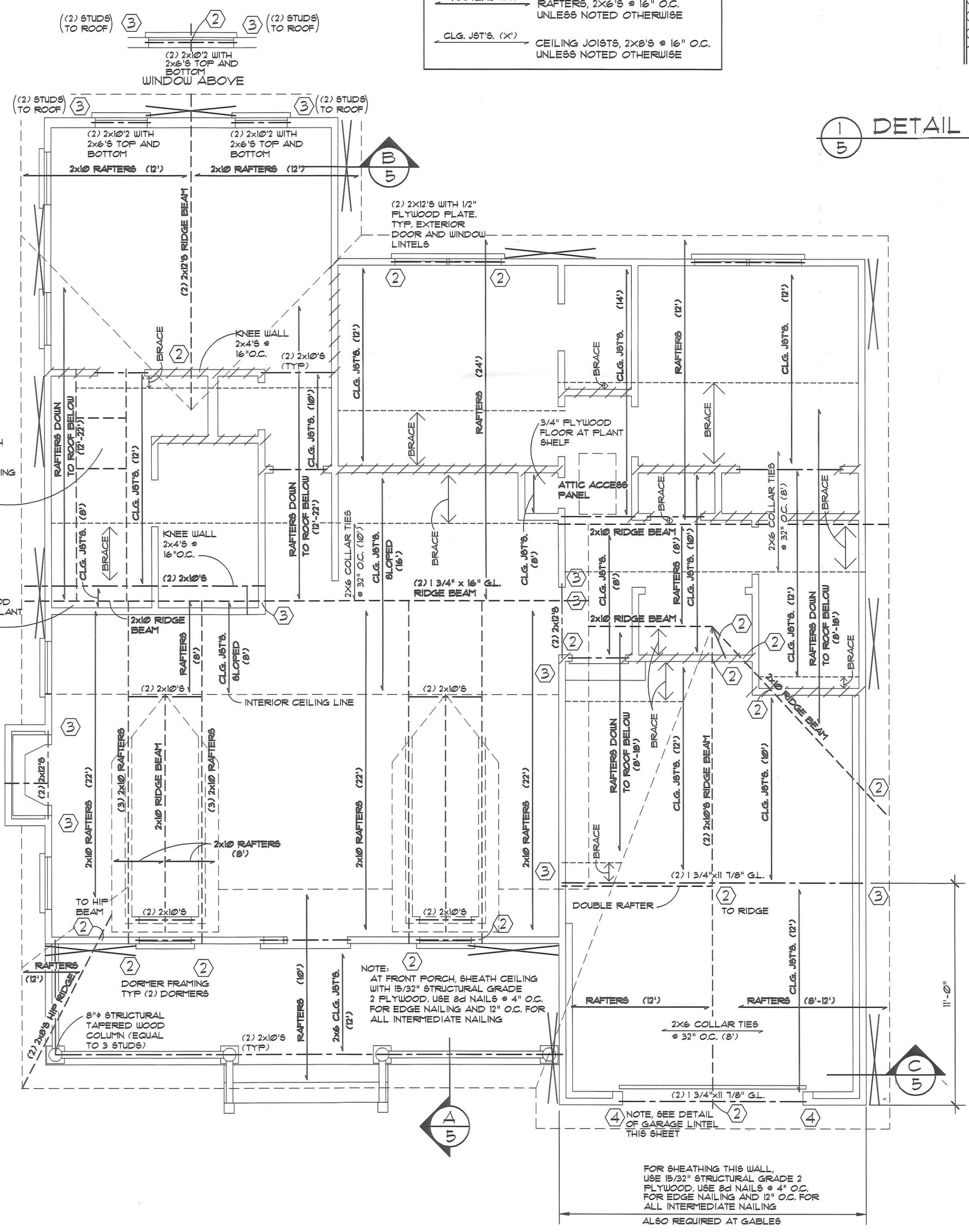
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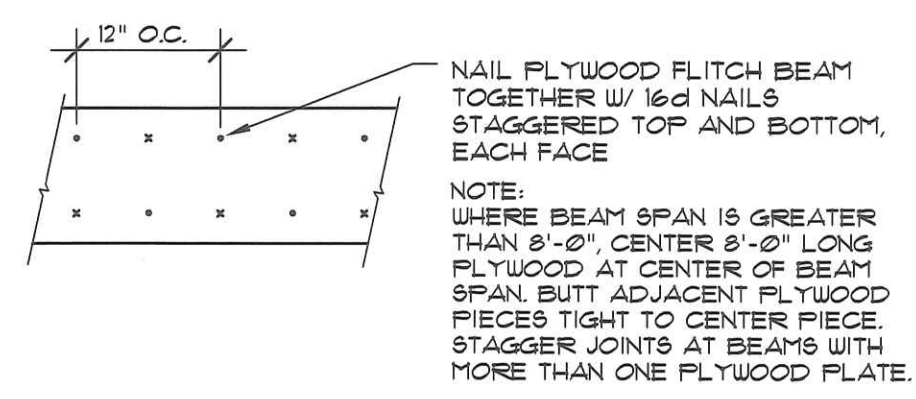
STRUCTURAL LEGEND	
RAFTERS (X)	RAFTERS, 2x6'S @ 16" O.C. UNLESS NOTED OTHERWISE
CLG. JST'S (X)	CEILING JOISTS, 2x8'S @ 16" O.C. UNLESS NOTED OTHERWISE



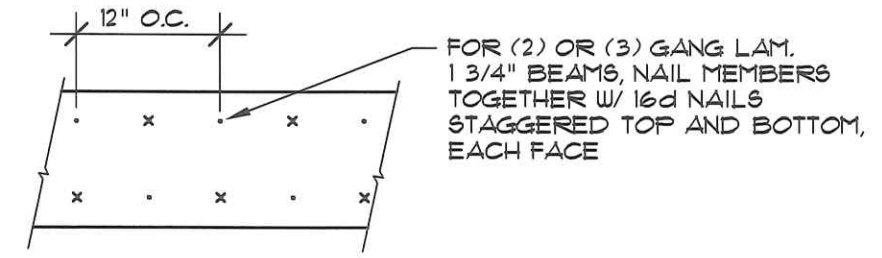
- STRUCTURAL NOTES**
- THIS SYMBOL INDICATES LOAD BEARING INTERIOR WALLS. ALL EXTERIOR WALLS ARE LOAD BEARING.
 - INDICATES GALV. 16 GA. X 1 1/4" STRAP CROSS BRACING FROM BOTTOM OF WALL PLATE TO TOP OF WALL PLATE. NEAR DOORS AND WINDOWS, LAP HEADERS 50 X BRACING ANGLE IS AS CLOSE TO 45 DEGREES AS POSSIBLE, BUT NOT MORE THAN 60 DEGREES FROM THE HORIZONTAL. WHERE MORE THAN 60 DEGREES AND AT ALL BUILDING CORNERS WITHOUT METAL STRAPS, USE 1/2" STRUCTURAL GRADE II FLYWOOD, USE 8d NAILS @ 4" O.C. FOR EDGE NAILING AND 12" O.C. FOR ALL INTERMEDIATE NAILING.
 - DASH LINE INDICATES ROOF FRAMING.
 - CENTER LINE INDICATES BEAMS BELOW ROOF. (SEE STUD NOTE 3) BELOW.)
 - 3 INDICATES THE NUMBER OF STUDS UNDER BEAM ABOVE. NOTE: IF NUMBER OF STUDS AT BEAM ENDS ARE NOT INDICATED, USE (2) STUDS.
 - UNLESS NOTED OTHERWISE, ALL INTERIOR DOOR AND WALL OPENINGS IN LOAD BEARING WALLS SHALL HAVE (2) 2x10 LINTEL WITH (2) STUDS AT EACH LINTEL END (TYPICAL).
 - UNLESS NOTED OTHERWISE, ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL HAVE (2) 2x10'S WITH 1/2" PLYWOOD PLATE LINTEL. USE (2) STUDS AT LINTEL ENDS UNLESS OTHERWISE NOTED.
 - CONNECTORS INDICATED ARE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INC. SAN LEANDRO, CALIFORNIA 94577 (800-955-5099).
 - BRACE ROOF TO WALL OR BEAM BELOW w/ 2x4'S @ 32" O.C.



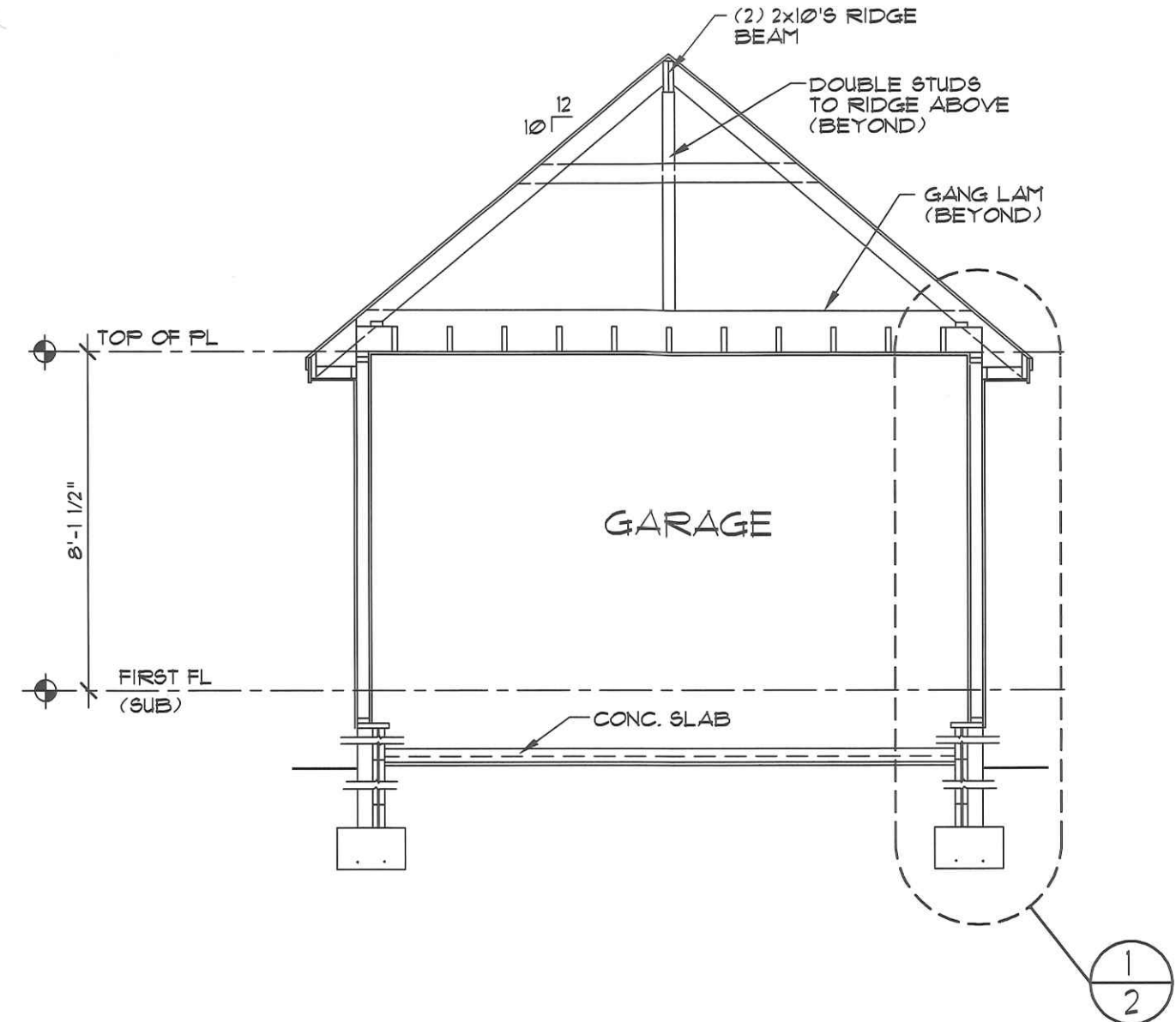
ROOF AND CEILING STRUCTURAL PLAN



PLYWOOD FLITCH BEAM DETAIL



MULTIPLE GANG LAM. DETAIL



SECTION 5

- DESIGN CRITERIA**
- (NOTE: ACTUAL DESIGN CRITERIA IN YOUR AREA MAY VARY. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY THESE.)
- FRAMING DESIGN BASED ON THE FOLLOWING LOADING CONDITIONS:
 - ROOF & FLOOR DEAD LOADS - 15 P.S.F.
 - ROOF LIVE LOAD - 20 P.S.F.
 - FLOOR LIVE LOAD - 40 P.S.F.
 - MAXIMUM WIND SPEED - 80 MPH.
 - VERIFY SEISMIC REQUIREMENTS FOR YOUR AREA.
 - SOIL DESIGN BEARING PRESSURE IS ASSUMED 2000 P.S.F. LOCAL SOIL CONDITIONS AND/OR LOCAL PRACTICE MAY NECESSITATE A MORE STRINGENT FOOTING AND FOUNDATION WALL DESIGN. CONSULT WITH LOCAL CONTRACTOR OR BUILDING INSPECTOR.
 - INSULATION:
 - CEILING - R-30
 - WALL - R-13
 - FLOOR - R-13
 - G.L. MATERIAL SPECS:
 - LAMINATED VENEER LUMBER GANG LAM LVL SHALL BE BY LOUISIANA PACIFIC OR by Donald A Gardner Architect, Inc. WILMINGTON, NC (800-955-5099) OR and/or Donald A Gardner Inc.
 - APPROVED EQUAL SUPPLIER.
 - PROPERTIES SHALL MEET OR EXCEED:
 - F_b = 2550 PSI
 - F_v = 290 PSI
 - E = 2,000,000 PSI
 - GANG LAM "S" LVL'S ARE INDICATED.
 - GANG LAM "W" LVL'S CAN BE USED IF THIS stamp must appear in RED INK BUT VARY FROM SIZES INDICATED. Report this illegal copy to Donald A Gardner Architect, Inc. 1-800-388-7330

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