

PERMIT  
 CITY OF NAPOLEON, OHIO - BUILDING DEPARTMENT  
 255 West Riverview Avenue, Napoleon, Ohio 43545 - (419) 592-4010

Permit No. 2712 Issued 7-17-92  
 Job Location 614 HUDDLE RD.  
 Lot 5 COUNTRYSIDE ESTATES  
 Issued by BRENT N. DAMMAN  
 Owner JAMES & PATRICIA BROWN 599-2726  
 Address P.O. BOX 281, NAPOLEON, OHIO  
 Agent HEARTLAND HOMES 867-0920  
 Address 9410 AIRPORT HWY., MONCLOVA, OHIO  
 Use Type - Residential X  
 Other - Describe \_\_\_\_\_  
 No. Dwelling Units 1  
 New X Replacement \_\_\_\_\_  
 Add'n. Alter Remodel \_\_\_\_\_  
 Mixed Occupancy \_\_\_\_\_  
 Change of Occupancy \_\_\_\_\_  
 Estimated Cost \$ 87,500.00

FEES	BASE	PLUS	TOTAL
<input type="checkbox"/> Building	\$ _____	\$ _____	\$ _____
<input type="checkbox"/> Electrical	\$ _____	\$ _____	\$ _____
<input checked="" type="checkbox"/> Plumbing	\$ <u>9.00</u>	\$ <u>33.00</u>	\$ <u>42.00</u>
<input type="checkbox"/> Mechanical	\$ _____	\$ _____	\$ _____
<input type="checkbox"/> Demolition	\$ _____	\$ _____	\$ _____
<input type="checkbox"/> Zoning	\$ _____	\$ _____	\$ _____
<input type="checkbox"/> Sign	\$ _____	\$ _____	\$ _____
<input type="checkbox"/> Water Tap	\$ _____	\$ _____	\$ _____
<input type="checkbox"/> Sew. Insp.	\$ _____	\$ _____	\$ _____
<input type="checkbox"/> Sewer Tap	\$ _____	\$ _____	\$ _____
<input type="checkbox"/> Temp. Water	\$ _____	\$ _____	\$ _____
<input type="checkbox"/> Temp. Elec.	\$ _____	\$ _____	\$ _____
TOTAL FEES.....			\$ <u>42.00</u>
LESS FEES PAID.....			\$ _____
BALANCE DUE.....			\$ <u>42.00</u>

ZONING INFORMATION

district	lot dimensions	area	front yd	side yd	rear yd
<u>A</u>	<u>IRREGULAR</u>	<u>32,604.629</u>	<u>30'</u>	<u>7'</u>	<u>15'</u>
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr
<u>35'</u>	<u>2 PER</u>		<u>35%</u>		

WORK INFORMATION

Size: Length 54'0" Width 26'11" Stories 1 Ground Floor Area 1404 S.F.  
 Height 14' Building Volume (for Demo. Permit) \_\_\_\_\_

Electrical: \_\_\_\_\_  
 Plumbing: \_\_\_\_\_  
 Mechanical: \_\_\_\_\_

**PAID**

Additional Information: NEW HOME W/FULL BASEMENT JUL 27 1992

Date \_\_\_\_\_ Applicant Signature James C Brown 7/28/92  
 CITY OF NAPOLEON



WATER TAPPING PERMIT

issued by

The Napoleon Water Distribution Department  
255 West Riverview Ave. Napoleon, Ohio 43545 Pn. 592-4010

Permit No. W- 0043 Issued 7-10-92 Received of James C Brown (\$ 375 ) .00

(Charge for tapping permit to supply water service to) Lot No. 5 Sub Div. Countyside estates

Street No. 614 Huddle Tap Size 1 • Cost \$ 375 .00 Plumber Heartland Homes

Date completed \_\_\_\_\_ Approved by \_\_\_\_\_  
Water distribution dept. finance director

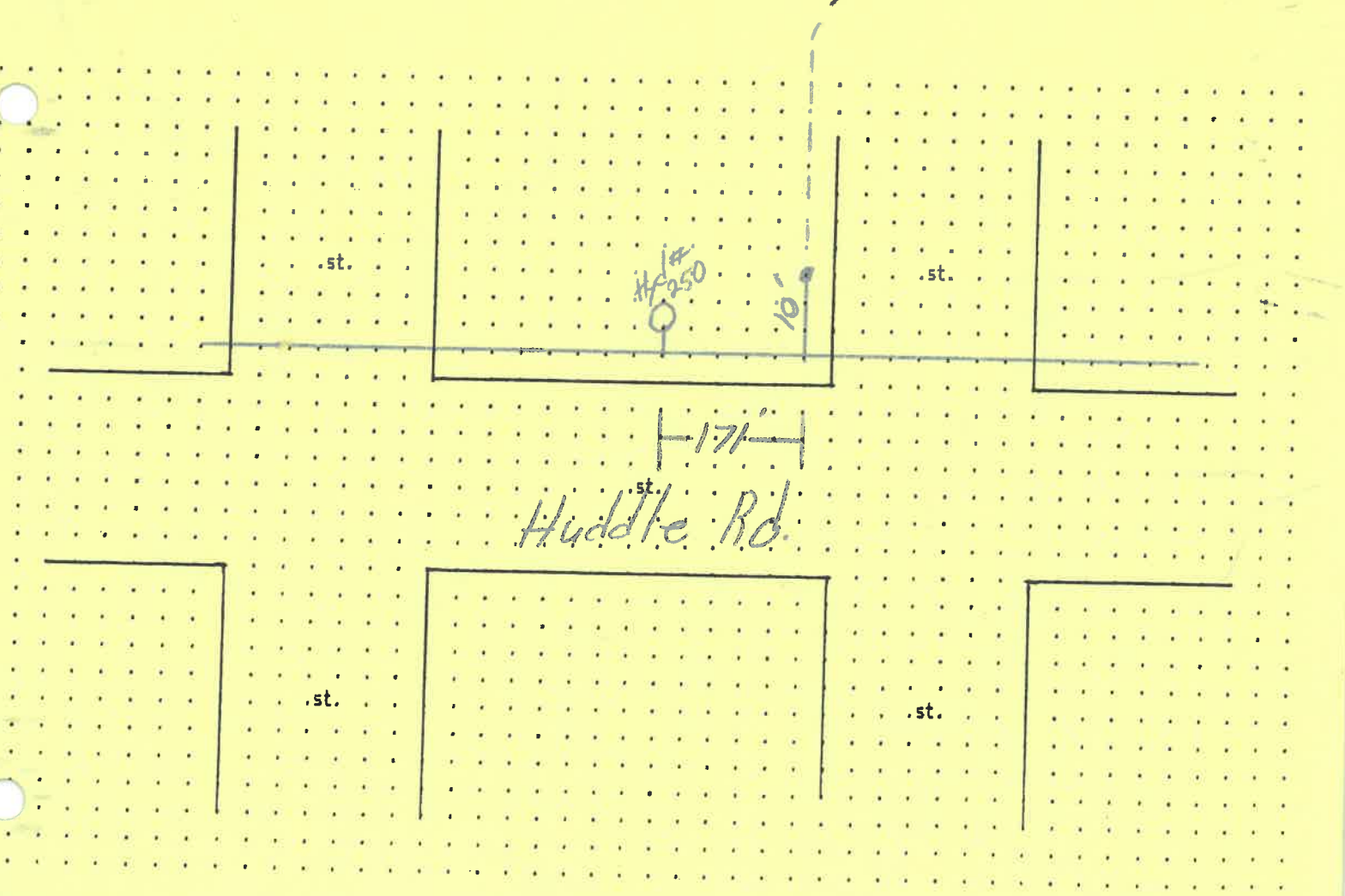
Name James C. Brown Size of tap 1" Date 8-4-92 Street and No. 614 Huddle Rd.

Old Tap No. \_\_\_\_\_ New Tap No. 9236 Size and Kind of Main 8" A.C.

Location of Main 8' north of north edge of pavement Depth of Main 5'

Distance from Hydrant/Valve 171' E. of Hyd # 250 Distance to Curb Stop from Corp. 10'

COMPLETED





PERMIT  
 CITY OF NAPOLEON, OHIO - BUILDING DEPARTMENT  
 255 West Riverview Avenue, Napoleon, Ohio 43545 - (419) 592-4010

Permit No. 2711 Issued 7-17-92  
 Job Location 614 Huddle Rd.  
 Lot 5 Countryside Estates  
 Issued by Brent N. Damman  
 Owner James & Patricia Brown 592-3806-w  
 599-2726  
 Address P.O. Box 281, Napoleon, OH  
 Agent Heartland Homes 867-0920  
 Address 9410 Airport Highway, Monclova Ohio  
 Use Type - Residential x  
 Other - Describe \_\_\_\_\_  
 No. Dwelling Units 1  
 New xx Replacement  
 Add'n. Alter Remodel  
 Mixed Occupancy \_\_\_\_\_  
 Change of Occupancy \_\_\_\_\_  
 Estimated Cost \$ 87,500.00

FEES	BASE	PLUS	TOTAL
<input checked="" type="checkbox"/> Building	\$ 9.00	\$ 202.00	\$ 211.00
<input checked="" type="checkbox"/> Electrical	\$ 15.00	\$ 75.00	\$ 90.00
<input checked="" type="checkbox"/> Plumbing	\$	\$	\$
<input checked="" type="checkbox"/> Mechanical	\$ 18.00	\$ 8.00	\$ 26.00
<input type="checkbox"/> Demolition	\$	\$	\$
<input type="checkbox"/> Zoning	\$	\$	\$
<input type="checkbox"/> Sign	\$	\$	\$
<input checked="" type="checkbox"/> Water Tap	\$ 375.00	\$	\$ 375.00
<input type="checkbox"/> Sew. Insp.	\$	\$	\$
<input checked="" type="checkbox"/> Sewer Tap	\$ 60.00	\$	\$ 60.00
<input type="checkbox"/> Temp. Water	\$	\$	\$
<input checked="" type="checkbox"/> Temp. Elec.	\$ 10.00	\$	\$ 10.00
TOTAL FEES.....			\$ 814.00
LESS FEES PAID.....			\$
BALANCE DUE.....			\$ <u>814.00</u>

**ZONING INFORMATION**

district	lot dimensions	area	front yd	side yd	rear yd
A	irregular	32,604.629	30'	7'	15'
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr
35'	2 per		35%		

**WORK INFORMATION**

Size: Length 54'0" Width 26' 1 1/2" Stories 1 Ground Floor Area 1404 sqft  
 Height 14' Building Volume (for Demo. Permit) \_\_\_\_\_  
 Electrical: Estimated cost = \$1900.00  
 Plumbing: Estimated cost = \$1900.00  
 Mechanical: \_\_\_\_\_

Additional Information: Newhome w/ full basement

**PAID**

Date 7-17-92 Applicant Signature James C Brown 7/17/92  
 CITY OF NAPOLEON

# INSPECTION RECORD

	UNDERGROUND			ROUGH-IN					FINAL			
	Type	Date	By	Type	Date	By	Type	Date	By	Type	Date	By
<b>PLUMBING</b>	Building Drains			Drainage, Waste & Vent Piping	9/23	BD	Indirect Waste			Drainage, Waste & Vent Piping		
	Water Piping									Backflow Prevention		
	Building Sewer	7/27	BD	Water Piping	9/23	BD	Condensate Lines			Water Heater		
	Storm	7/28	BD									
	Sewer Connection	7/27	BD							FINAL APPROVAL	9/23	BD
<b>MECHANICAL</b>	Refrigerant Piping			Refrigerant Piping			Chimney(s)			Grease Exhaust System		
				Duct Furnace(s)	9/23	BD	Fire Dampers			Air Cond. Unit(s)		
	Ducts/Plenums			Ducts/Plenums	9/23	BD	<input type="checkbox"/> Radiant Htr(s) <input type="checkbox"/> Unit Htr(s)			Refrigeration Equipment		
				Duct Insulation			Pool Heater			Furnace(s)		
				Combustion Products Vents ✓			Ventilation <input type="checkbox"/> Supply <input type="checkbox"/> Exhst.			FINAL APPROVAL	9/23	BD
<b>ELECTRICAL</b>	Conduits & or Cable			Conduits/ Cable	9/23	BD	<input type="checkbox"/> Range <input type="checkbox"/> Dryer (Gas 9/23 BD)			Temp Service Temp Lighting		
	Grounding & or Bonding			Rough Wiring	9/23	BD	<input type="checkbox"/> Generator(s) <input type="checkbox"/> Motors			Fixtures Lampholders		
	Floor Ducts Raceways			Service Panel Switchboard	9/23	BD	<input type="checkbox"/> Water Htr <input type="checkbox"/> Welder			Signs		
	Service Conduit			Busways Ducts			<input type="checkbox"/> Heaters <input type="checkbox"/> Heat Cable			Electric Mtr. Clearance	9/23	BD
	Temporary Power Pole			Subpanels			<input type="checkbox"/> Duct Htr(s) <input type="checkbox"/> Furnace(s)			FINAL APPROVAL	9/23	BD
<b>BUILDING</b>	Location, Set-backs, Esmt(s)			Exterior Wall Construction	9/23	BD	Roof Covering Roof Drainage	9/23	BD	Smoke Detector		
	Excavation	8/10	BD				Exterior Lath	9/23	BD	Demolition (sewer cap)		
	Footings & Reinforcing	8/11	BD				<input type="checkbox"/> Interior Lath <input type="checkbox"/> Wallboard	9/23	BD			
	Floor Slab	8/21	BD	Interior Wall Construction			Fire Wall(s)			Building or Structure		
	Foundation Walls	8/11	BD	Columns & Supports			Fireplace Chimney					
	Sub-soil Drain			Crawl Space <input type="checkbox"/> Vent <input type="checkbox"/> Access			Attic <input type="checkbox"/> Vent <input type="checkbox"/> Access					
	Piles			Floor System(s)	9/23	BD				FINAL APPROVAL BLDG. DEPT.	9/23	BD
				Roof System	9/23	BD	Special Insp Reports Rec'd			Certificate of Occupancy Issued	10/6	BD
<b>ADDITIONAL</b>	INSPECTIONS, CORRECTIONS, ETC.						INSPECTIONS, CORRECTIONS, ETC.					

APPLICATION FOR RESIDENTIAL, BUILDING, ELECTRICAL, PLUMBING AND MECHANICAL PERMITS AND DEMOLITION PERMIT  
 FROM THE City of Napoleon, Ohio, Building Department  
 255 West Riverview Avenue; P.O. Box 151; Napoleon, Ohio 43545 - Telephone (419) 582-4010

ENTRY NO. \_\_\_\_\_

PERMIT NO. 2911 ISSUED 7-17-92  BUILDING \$ 9.00 \$ 202.00 \$ 211.00

JOB LOCATION 614 Huddle Rd  ELECTRICAL \$ 15.00 \$ 75.00 \$ 90.00

LOT 5 Countryside Estates  PLUMBING \$ 9.00 \$ 33.00 \$ 42.00  
 (Subdivision or Legal Description)

ISSUED BY BND  MECHANICAL \$ 18.00 \$ 8.00 \$ 26.00  
 (Building Official) office 592-38069-5

OWNER James & Patricia Braun PHONE 599-2726  DEMOLITION \$ \_\_\_\_\_ \$ \_\_\_\_\_ \$ \_\_\_\_\_

ADDRESS P.O. Box 281 Napoleon Ohio  ZONING \$ \_\_\_\_\_ \$ \_\_\_\_\_ \$ \_\_\_\_\_

AGENT Heartland Homes PHONE 867-0920  SIGN \$ \_\_\_\_\_ \$ \_\_\_\_\_ \$ \_\_\_\_\_

ADDRESS 9410 Airport Hwy Monclove Ohio  WATER TAP \$ 375.00 \$ \_\_\_\_\_ \$ 375.00

USE: RESIDENTIAL  COMMERCIAL \_\_\_\_\_ INDUSTRIAL \_\_\_\_\_ OTHER \_\_\_\_\_  SEWER TAP \$ 60.00 \$ \_\_\_\_\_ \$ 60.00

NEW  ADDITION \_\_\_\_\_ REPLACEMENT \_\_\_\_\_ REMODEL \_\_\_\_\_  TEMP WATER \$ 10.00 \$ \_\_\_\_\_ \$ 10.00  
 (Elec.)

ESTIMATED COST: \$ 87,500.00

Additional Plan Review Structure \_\_\_\_\_ Hours \_\_\_\_\_  
 Electric \_\_\_\_\_ Hours \_\_\_\_\_

ZONING INFORMATION

District	Lot Dimensions	Area	Front Yard	Side Yard	Rear Yard
<u>A</u>	<u>Irregular</u>	<u>32,604.629</u>	<u>30'</u>	<u>7'</u>	<u>15'</u>

Max Height	No. Pkg. Spaces	No. Ldg. Spaces	Max Cover	Petition or Appeal Required - Date
<u>35'</u>	<u>2 per</u>		<u>35%</u>	

WORK INFORMATION

BUILDING - GROUND FLOOR AREA 1404 SQ. FT. BASEMENT FLOOR AREA 1404 SQ. FT.

GARAGE FLOOR AREA 576 SQ. FT. 2ND FLOOR AREA \_\_\_\_\_ SQ. FT. OTHER Porch 156 SQ. FT.

SIZE - WIDTH 26'-1 1/4" - LENGTH 54'-0" - STORIES 1 - HEIGHT 14'

BUILDING VOLUME (FOR DEMOLITION PERMIT) - \_\_\_\_\_ CUBIC FEET

DESCRIPTION OF WORK New Home and full basement

TOTAL FEES .....	\$ <u>814.00</u>
Less Fees Paid .....	\$ _____
BALANCE DUE .....	\$ <u>814.00</u>

**ELECTRICAL:** Contractor Heather C. Homes Phone 867-0920  
Address 9410 Airport Hwy, Moorhead, MN ESTIMATED COST = \$ 1900.00

**TYPE OF WORK:** New  Service Change  Rewiring  Add'l Wiring  TEMPORARY ELECTRIC REQUIRED - Yes  No   
Size of Service \_\_\_\_\_ Underground  Overhead  Number of New Circuits = 25

**DESCRIPTION OF WORK:** New home

**PLUMBING:** Contractor Heather C. Homes Phone 867-0920  
Address 9410 Airport Hwy, Moorhead, MN ESTIMATED COST = \$ 1900.00

**WATER TAP REQUIRED** - Yes  No  Size 1" Type of Pipe CTS Water Dist. Pipe \_\_\_\_\_

**SANITARY SEWER TAP REQUIRED** - Yes  No  Size 4" Type of Pipe SDR Sch 35 Dr. Waste Vt. Pipe \_\_\_\_\_

**STREET SEWER TAP REQUIRED** - Yes  No  Type of Pipe \_\_\_\_\_ **STREET TO BE OPENED** - Yes  No

Main Building Drain Size - \_\_\_\_\_ Main Vent Pipe Size - \_\_\_\_\_

**LIST NUMBER OF PLUMBING FIXTURES BELOW:**

Water Closets = 2 Bathtubs = 1 Showers = 2 Lavatories = 2 Kitchen Sinks = 1 Disposal = -  
Clothes Washer = 1 Floor Drains = 2 Other (Fixtures/Type) = 11

**DESCRIPTION OF WORK:** \_\_\_\_\_

**MECHANICAL:** Contractor Heather C. Homes Van Dyke's Phone 867-0920  
Address 9410 Airport Hwy, Moorhead, MN ESTIMATED COST = \$ \_\_\_\_\_

**HEATING SYSTEM** - Forced Air  Gravity  Hot Water  Steam  Unit Heaters  Radiant  Baseboard

**TYPE OF FUEL** - Electric  Natural Gas  Propane  Wood  Coal  Solar  Geothermal  Other

**NUMBER OF HEAT ZONES** = \_\_\_\_\_ **HOT WATER** - One (1) Pipe \_\_\_\_\_ Two (2) Pipes \_\_\_\_\_ Series Loop \_\_\_\_\_

**ELECTRIC HEAT** - Number of Circuits = \_\_\_\_\_ Number of Furnaces = 1 Number of Hot Air Runs = 13

Number of Hot Water Radiators = \_\_\_\_\_ Total Heat Loss = 50,000 Rated Capacity of Furnace/Boiler = 80,000

**LOCATION OF HEATING UNITS** - Crawl Space  Floor Level  Basement Attic  Suspended  Roof  Outside

**DESCRIPTION OF WORK:** \_\_\_\_\_

**DRAWINGS REQUIRED.** All applications must be accompanied by two (2) complete sets of Drawings including Site Plans, Foundation Plans, Floor Plans, Structural Framing Plans, Exterior Elevations, Section and Details, Stair Details, Electrical Layout, Plumbing Isometric, Heating Layout, etc. All plans shall be drawn to scale, show all existing structure on the site plans and show electric panel and furnace locations.

**READ AND SIGN BELOW.** The undersigned hereby make application for a Permit for all work described herein and agrees to complete the work in strict accordance with all applicable provisions of the current edition of the C.A.B.O Building Code, the Napoleon Building and Zoning Codes, the Napoleon Engineering Department Rules and Regulations, Standard Specifications and other pertinent section of the Napoleon Code of Ordinances.

Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_



APPLICATION FOR RESIDENTIAL, BUILDING, ELECTRICAL, PLUMBING AND MECHANICAL PERMITS AND DEMOLITION PERMIT  
 FROM THE City of Napoleon, Ohio, Building Department  
 255 West Riverview Avenue; P.O. Box 151; Napoleon, Ohio 43545 - Telephone (419) 592-4010

ENTRY NO. \_\_\_\_\_

PERMIT NO. 2711 ISSUED 7-17-92  BUILDING \$ 9.00 \$ 202.00 \$ 211.00

JOB LOCATION 614 Huddle Rd  ELECTRICAL \$ 15.00 \$ 75.00 \$ 90.00

LOT 5 Countryside Estates  PLUMBING \$ 9.00 \$ 33.00 \$ 42.00  
 (Subdivision or Legal Description)

ISSUED BY BND  MECHANICAL \$ 18.00 \$ 8.00 \$ 26.00  
 (Building Official) office 592-3806(7-5)

OWNER James & Patricia Brun PHONE 592-2725  DEMOLITION \$ \_\_\_\_\_ \$ \_\_\_\_\_ \$ \_\_\_\_\_

ADDRESS Box 291 Napoleon Ohio  ZONING \$ \_\_\_\_\_ \$ \_\_\_\_\_ \$ \_\_\_\_\_

AGENT Heartland Homes PHONE 867-0920  SIGN \$ \_\_\_\_\_ \$ \_\_\_\_\_ \$ \_\_\_\_\_  
9410 Airport Hwy

ADDRESS Napoleon Ohio  WATER TAP \$ 375.00 \$ \_\_\_\_\_ \$ 375.00

USE: RESIDENTIAL  COMMERCIAL \_\_\_\_\_ INDUSTRIAL \_\_\_\_\_ OTHER \_\_\_\_\_  SEWER TAP \$ 60.00 \$ \_\_\_\_\_ \$ 60.00

NEW  ADDITION \_\_\_\_\_ REPLACEMENT \_\_\_\_\_ REMODEL \_\_\_\_\_  TEMP WATER \$ 10.00 \$ \_\_\_\_\_ \$ 10.00  
 (Elec.)

ESTIMATED COST: \$ 87,500.00

Additional Plan Review Structure \_\_\_\_\_ Hours \_\_\_\_\_  
 Electric \_\_\_\_\_ Hours \_\_\_\_\_

ZONING INFORMATION

TOTAL FEES .....	\$ <u>814.00</u>
Less Fees Paid .....	\$ _____
BALANCE DUE .....	\$ <u>814.00</u>

District	Lot Dimensions	Area	Front Yard	Side Yard	Rear Yard
<u>A</u>	<u>irregular</u>	<u>32,604.629</u>	<u>30'</u>	<u>7'</u>	<u>15'</u>

Max Height	No. Pkg. Spaces	No. Ldg. Spaces	Max Cover	Petition or Appeal Required - Date
<u>35'</u>	<u>2 per</u>		<u>35%</u>	

WORK INFORMATION

BUILDING - GROUND FLOOR AREA 1464 SQ. FT. BASEMENT FLOOR AREA None SQ. FT.

GARAGE FLOOR AREA 076 SQ. FT. 2ND FLOOR AREA \_\_\_\_\_ SQ. FT. OTHER Porch 156 SQ. FT.

SIZE - WIDTH 36'-1 1/2" - LENGTH 54'-0" - STORIES 1 - HEIGHT 14'

BUILDING VOLUME (FOR DEMOLITION PERMIT) - \_\_\_\_\_ CUBIC FEET

DESCRIPTION OF WORK Removal of existing structure

**ELECTRICAL:** Contractor Michael J. ... Phone 867-0120  
Address ... ESTIMATED COST = \$ 190,000  
TYPE OF WORK: New  Service Change  Rewiring  Add'l Wiring  TEMPORARY ELECTRIC REQUIRED - Yes  No   
Size of Service \_\_\_\_\_ Underground  Overhead  Number of New Circuits = 25

**PLUMBING:** Contractor Michael J. ... Phone 867-0120  
Address 9410 Airport Hwy, Moorhead, MN ESTIMATED COST = \$ 190,000  
WATER TAP REQUIRED - Yes  No  Size 1" Type of Pipe CTS Water Dist. Pipe \_\_\_\_\_  
SANITARY SEWER TAP REQUIRED - Yes  No  Size 4" Type of Pipe SDR Sch 35 Dr. Waste Vt. Pipe \_\_\_\_\_  
STREET SEWER TAP REQUIRED - Yes  No  Type of Pipe \_\_\_\_\_ STREET TO BE OPENED - Yes  No   
Main Building Drain Size - \_\_\_\_\_ Main Vent Pipe Size - \_\_\_\_\_

**LIST NUMBER OF PLUMBING FIXTURES BELOW:**  
Water Closets = 2 Bathtubs = 1 Showers = 2 Lavatories = 2 Kitchen Sinks = 1 Disposal = -  
Clothes Washer = 1 Floor Drains = 2 Other (Fixtures/Type) = 11

**MECHANICAL:** Contractor Heather C. ... Van Dyke's Phone 957-0120  
Address 9410 Airport Hwy, Moorhead, MN ESTIMATED COST = \$ \_\_\_\_\_

**HEATING SYSTEM** - Forced Air  Gravity  Hot Water  Steam  Unit Heaters  Radiant  Baseboard   
**TYPE OF FUEL** - Electric  Natural Gas  Propane  Wood  Coal  Solar  Geothermal  Other   
**NUMBER OF HEAT ZONES** = \_\_\_\_\_ **HOT WATER** - One (1) Pipe \_\_\_\_\_ Two (2) Pipes \_\_\_\_\_ Series Loop \_\_\_\_\_  
**ELECTRIC HEAT** - Number of Circuits = \_\_\_\_\_ Number of Furnaces = 1 Number of Hot Air Runs = 13  
Number of Hot Water Radiators = \_\_\_\_\_ Total Heat Loss = 50,000 Rated Capacity of Furnace/Boiler = 80,000  
**LOCATION OF HEATING UNITS** - Crawl Space \_\_\_\_\_ Floor Level  Basement  Attic \_\_\_\_\_ Suspended \_\_\_\_\_ Roof \_\_\_\_\_ Outside \_\_\_\_\_

**DESCRIPTION OF WORK:** \_\_\_\_\_  
**DRAWINGS REQUIRED.** All applications must be accompanied by two (2) complete sets of Drawings including Site Plans, Foundation Plans, Floor Plans, Structural Framing Plans, Exterior Elevations, Section and Details, Stair Details, Electrical Layout, Plumbing Isometric, Heating Layout, etc. All plans shall be drawn to scale, show all existing structure on the site plans and show electric panel and furnace locations.

**READ AND SIGN BELOW.** The undersigned hereby make application for a Permit for all work described herein and agrees to complete the work in strict accordance with all applicable provisions of the current edition of the C.A.B.O Building Code, the Napoleon Building and Zoning Codes, the Napoleon Engineering Department Rules and Regulations, Standard Specifications and other pertinent section of the Napoleon Code of Ordinances.

Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

RESIDENTIAL PLAN CORRECTION SHEET

CITY OF NAPOLEON  
255 West Riverview Ave.  
Napoleon, Ohio 43545  
419/592-4010

ADDENDUM TO Permit No. 2711  
Owner James Brown  
Contractor Heartland Homes  
Location 614 Huddle Rd

Please note the items checked below and incorporate them into your plans as indicated:  PERMIT NOT YET ISSUED, CORRECT PLANS AND RE-SUBMIT.  PERMIT ISSUED, INCORPORATE ITEMS DURING CONSTRUCTION.

<b>GENERAL</b>		Show size of members supporting porch roof.	
<input type="checkbox"/>	Provide approved smoke detector(s) as req'd.	Provide double top plate for all bearing partitions and exterior walls.	
<input type="checkbox"/>	Provide 1/2" gypsum wallboard between dwelling and garage, on garage side.	Provide design data for prefab wood truss.	
<input type="checkbox"/>	Provide min. 1 3/8" solid wood door from garage to dwelling. (or equal)	Ceiling joists undersized in _____.	
<input type="checkbox"/>	Submit fully dimensioned plot plan.	Roof rafters undersized in _____.	
<input checked="" type="checkbox"/>	Provide min. of 1-3'0" x 6'8" exit door.	<b>PLUMBING AND MECHANICAL</b>	
<input checked="" type="checkbox"/>	Provide min. 22" x 30" attic access opening.	Terminate all exhaust systems to outside air.	
<input type="checkbox"/>	Provide min. 18" x 24" crawl space access opening.	Insulate ducts in unheated areas.	
<input type="checkbox"/>	Provide approved sheathing or flashing behind masonry veneer.	Provide backflow prevention device on all hose bibs.	
<input type="checkbox"/>	Provide min. 15# underlayment on roof.	Terminate pressure and temperature relief valve drain in an approved manner.	
<input type="checkbox"/>	Provide adequate fireplace hearth.	Provide dishwasher drain with approved air gap device.	
<input type="checkbox"/>	Install factory built fireplaces/stoves according to manufacturers instructions.	<b>METAL VENEERS</b>	
<input type="checkbox"/>	Terminate chimney 2' above roof or 2' above highest point of building within 10' of chimney.	Contact City Utilities Dept. to remove conductors and/or meter.	
<b>LIGHT AND VENTILATION</b>		Provide approved system of grounding and bonding.	
<input type="checkbox"/>	Provide mechanical exhaust or window in bathroom.	<b>ELECTRICAL</b>	
<input type="checkbox"/>	Provide min. _____ Sq. In. net free area attic ventilation.	Show location of service entrance panel and service equipment panel.	
<input type="checkbox"/>	Provide min. _____ Sq. In. net free area crawl space ventilation.	G. F. C. I. req'd. on temporary electric.	
<b>FOUNDATION</b>		Outdoor, bathroom and garage receptacles shall be protected by G. F. C. I.	
<input type="checkbox"/>	Min. depth of foundation below finished grade is 32".	Maximum number of receptacles permitted on a G. F. C. I. circuit shall be 10 for 20 A. circuits and 7 for 15A. circuits.	
<input type="checkbox"/>	Min. size of footer _____" x _____".	<input checked="" type="checkbox"/> Refrigerators, microwaves, washers, disposal, furnace and air conditioners shall be on separate circuits.	
<input type="checkbox"/>	Provide anchor bolts 1/2" @ 6' o.c. 1' from each corner. Embedded 7" in concrete and 15" in masonry.	<b>INSPECTIONS</b>	
<input type="checkbox"/>	Show size of basement columns.	The following indicated inspections are required. The owner or his agent shall contact the City Building Dept. at least 24 hrs prior to the time the inspection is to be made.	
<b>FRAMING</b>		Footers and Setbacks.	Building sewer.
<input type="checkbox"/>	Show size of wood girder in _____.	Foundation.	HVAC rough-in.
<input type="checkbox"/>	Provide design data for structural member in _____.	Plumbing rough-in.	Final Building
<input type="checkbox"/>	Floor joists undersized in _____.	Plumbing final.	other,
<input type="checkbox"/>	Provide double joists under parallel bearing partitions.	Electrical service.	
<input type="checkbox"/>	Provide 1" x 4" let in corner bracing, approved sheathing, or equal.	Electrical rough-in.	
<input type="checkbox"/>	Show size of headers for openings over 4' wide _____.	Electrical final	

Additional Corrections. 4" PVC DWV Sch 40 garage floor drain w/ trap no venting necessary if under 35' long; must flow to sanitary sewer.

The approval of plans and specifications does not permit the violation of any section of the Building Code or other City Ordinance. This addendum is attached to Permit No. \_\_\_\_\_ and made a part thereof. DATE APPROVED OR DISAPPROVED \_\_\_\_\_ Checked by \_\_\_\_\_ Plan Examiner.



WATER TAPPING PERMIT

issued by

The Napoleon Water Distribution Department

255 West Riverview Ave. Napoleon, Ohio 43545 Pn. 592-4010

Permit No. W- 0045 Issued 7-27-92 Received of James C. Brown (\$ 375 ) .00

(Charge for tapping permit to supply water service to) Lot No. 5 Sub Div. Countryside Estates

Street No. 614 Huddle Tap Size 1 Cost \$ 375 .00 Plumber Self

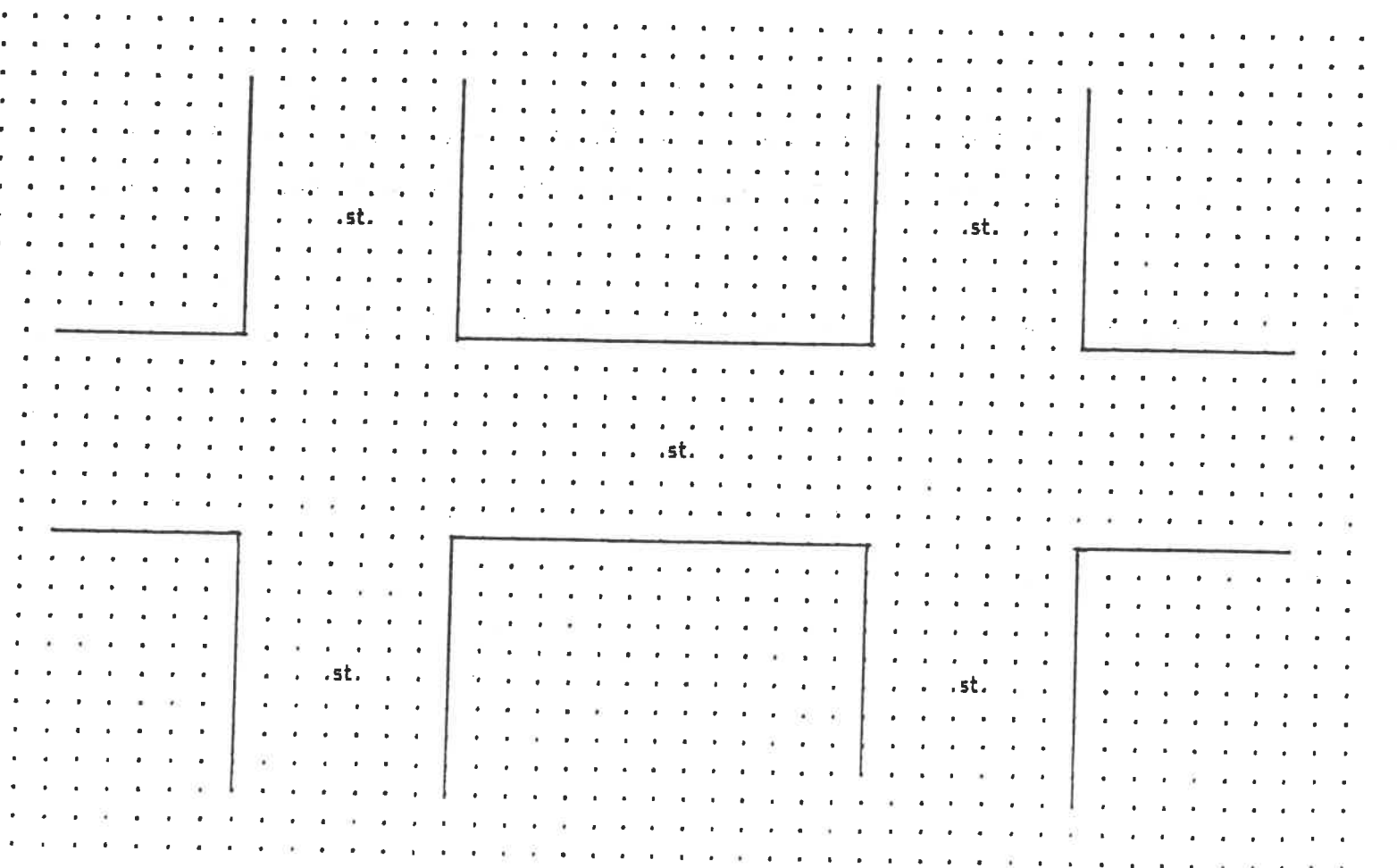
Date completed \_\_\_\_\_ Approved by \_\_\_\_\_  
water distribution dept. finance director

Name \_\_\_\_\_ Size of tap \_\_\_\_\_ Date \_\_\_\_\_ Street and No. \_\_\_\_\_

Old Tap No. \_\_\_\_\_ New Tap No. \_\_\_\_\_ Size and Kind of Main \_\_\_\_\_

Location of Main \_\_\_\_\_ Depth of Main \_\_\_\_\_

Distance from Hydrant/Valve \_\_\_\_\_ Distance to Curb Stop from Corp. \_\_\_\_\_





WATER TAPPING PERMIT

issued by

The Napoleon Water Distribution Department

255 West Riverview Ave. Napoleon, Ohio 43345 Pn. 592-4010

Permit No. W-0043 Issued 7-10-92 Received of James C Brown (\$375).00

(Charge for tapping permit to supply water service to) Lot No. 5 Sub Div. Countryside estates

Street No. 614 Huddle Tap Size 1 Cost \$375.00 Plumber Heartland Homes

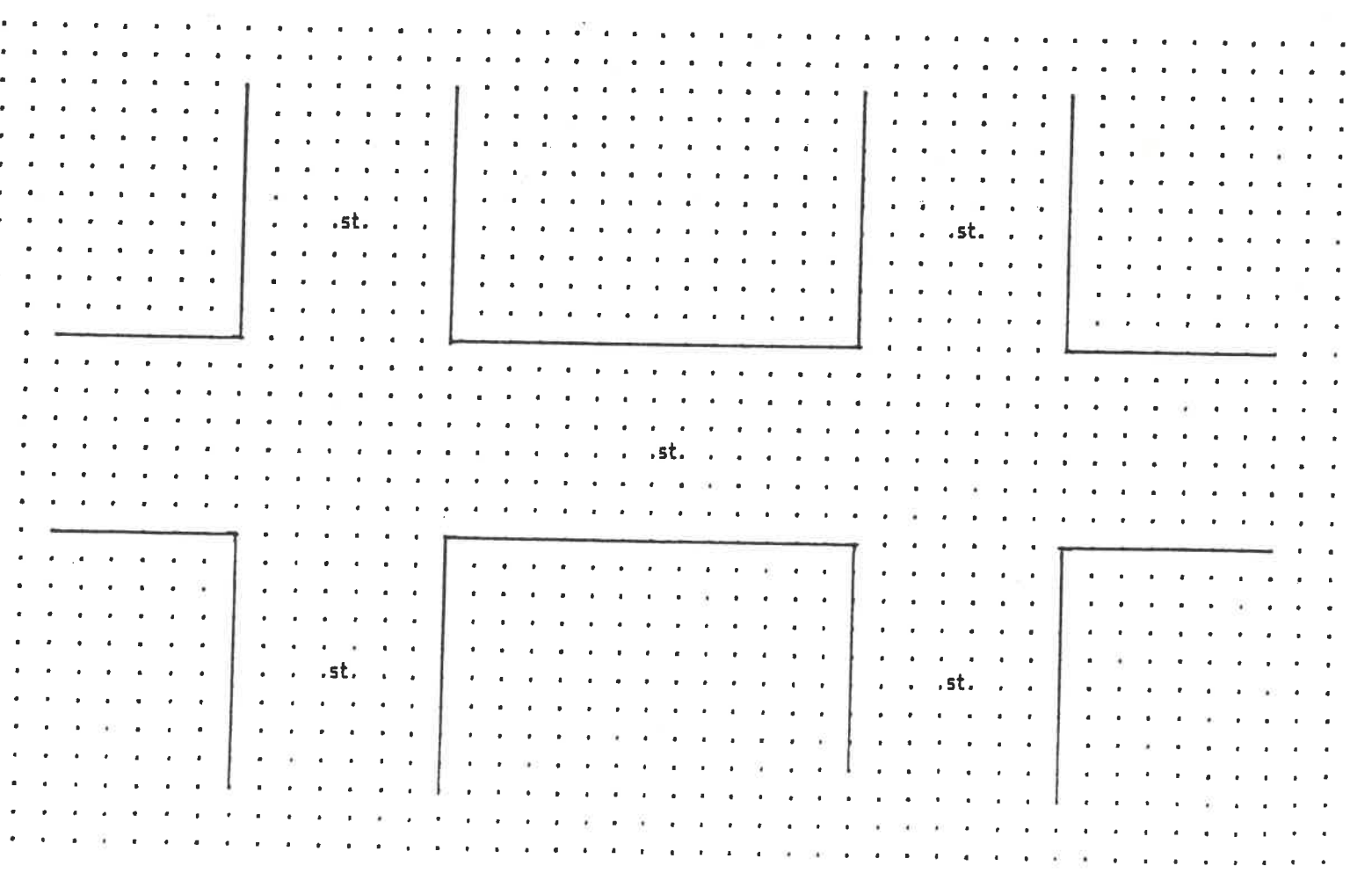
Date completed \_\_\_\_\_ Approved by \_\_\_\_\_  
water distribution dept. finance director

Name \_\_\_\_\_ Size of tap \_\_\_\_\_ Date \_\_\_\_\_ Street and No. \_\_\_\_\_

Old Tap No. \_\_\_\_\_ New Tap No. \_\_\_\_\_ Size and Kind of Main \_\_\_\_\_

Location of Main \_\_\_\_\_ Depth of Main \_\_\_\_\_

Distance from Hydrant/Valve \_\_\_\_\_ Distance to Curb Stop from Corp. \_\_\_\_\_







METER SOCKET RELEASE

issued by

The Napoleon Electric Distribution Department

639 Industrial Drive Napoleon, Ohio 43545 Pn. 592-9116 or 592-4010

Permit No. E-0086 Issued 7-29-92 Building permit No. 2711 Job Address 614 Huddle Rd.

Lot Number 5 Sub Division Countryside Estates

Owner James C Brown Owners Address P.O. Box 281 Napoleon, Ohio 43545 Pn. No. 599-2726

Contractor Galvin Electric Contractors Address 101 Allen Dr. Suite #2 Pn. No. 826-0500

Size of Service 200 Overhead \_\_\_\_\_ Underground X Issued By Brent N. Dammann

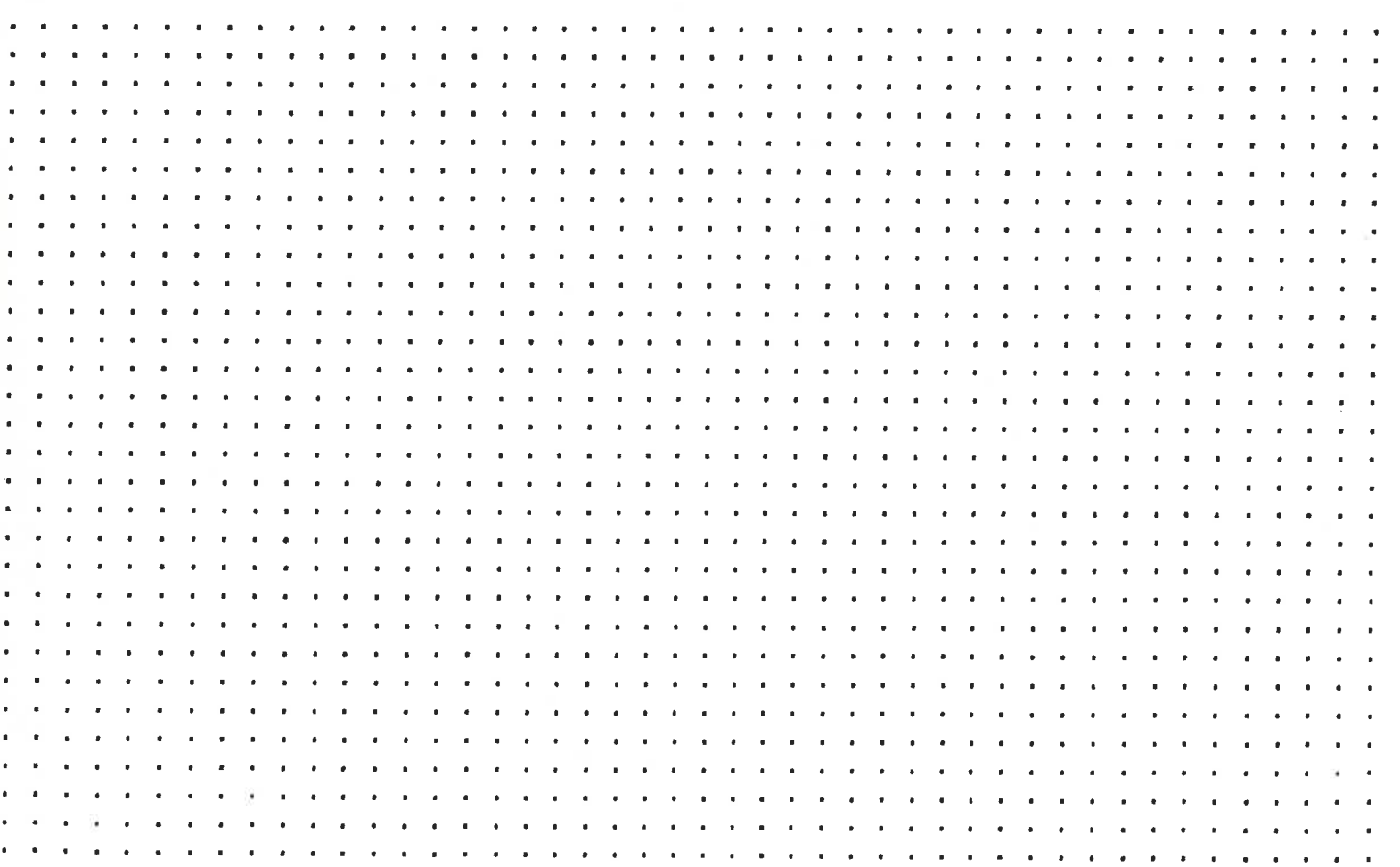
Date completed \_\_\_\_\_ Approved by \_\_\_\_\_ electric distribution dept.

Size of Service \_\_\_\_\_ Overhead \_\_\_\_\_ Underground \_\_\_\_\_ Street and No. \_\_\_\_\_

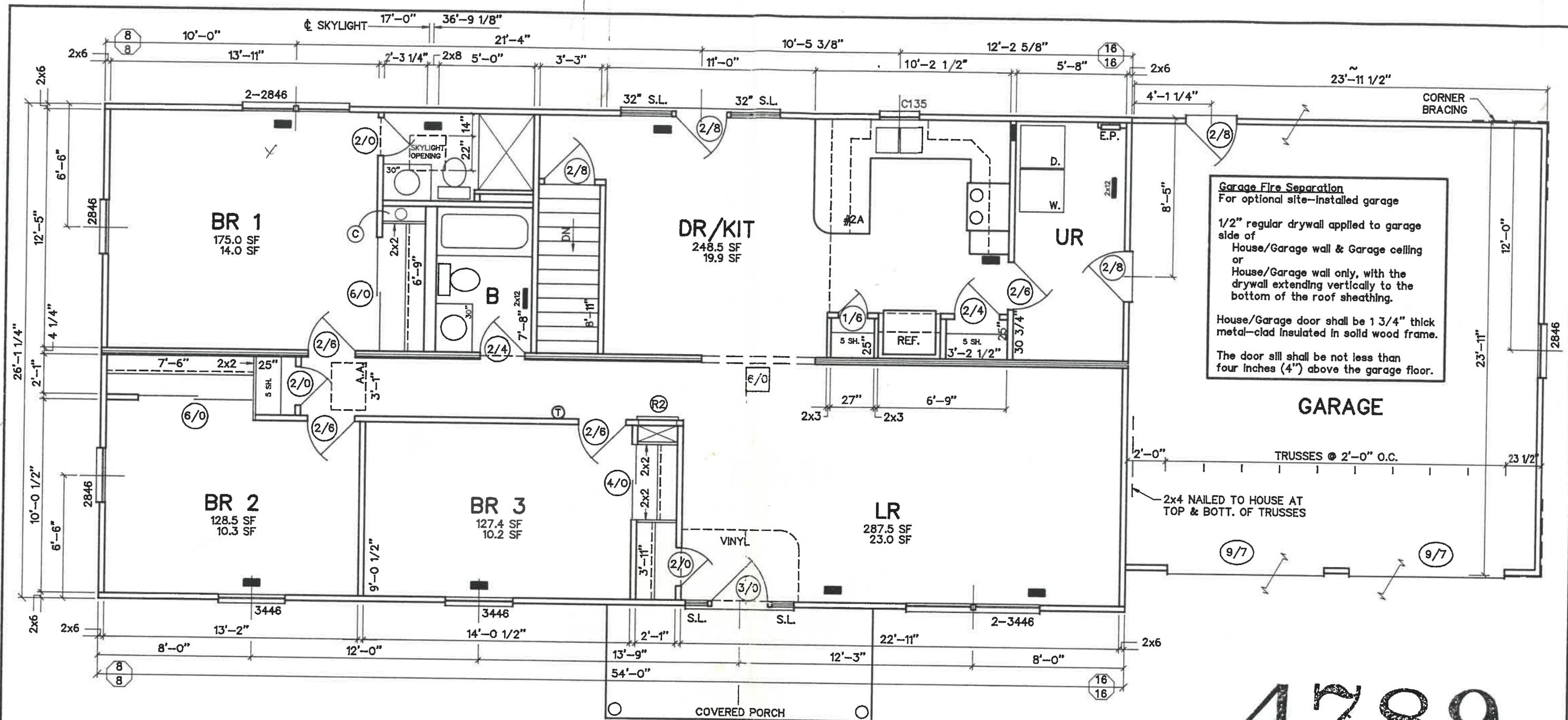
Old Meter No. \_\_\_\_\_ New Meter No. \_\_\_\_\_ Remarks \_\_\_\_\_

COMPLETED

Sketch of Service







**Garage Fire Separation**  
 For optional site-installed garage  
 1/2" regular drywall applied to garage side of House/Garage wall & Garage ceiling or House/Garage wall only, with the drywall extending vertically to the bottom of the roof sheathing.  
 House/Garage door shall be 1 3/4" thick metal-clad insulated in solid wood frame.  
 The door sill shall be not less than four inches (4") above the garage floor.

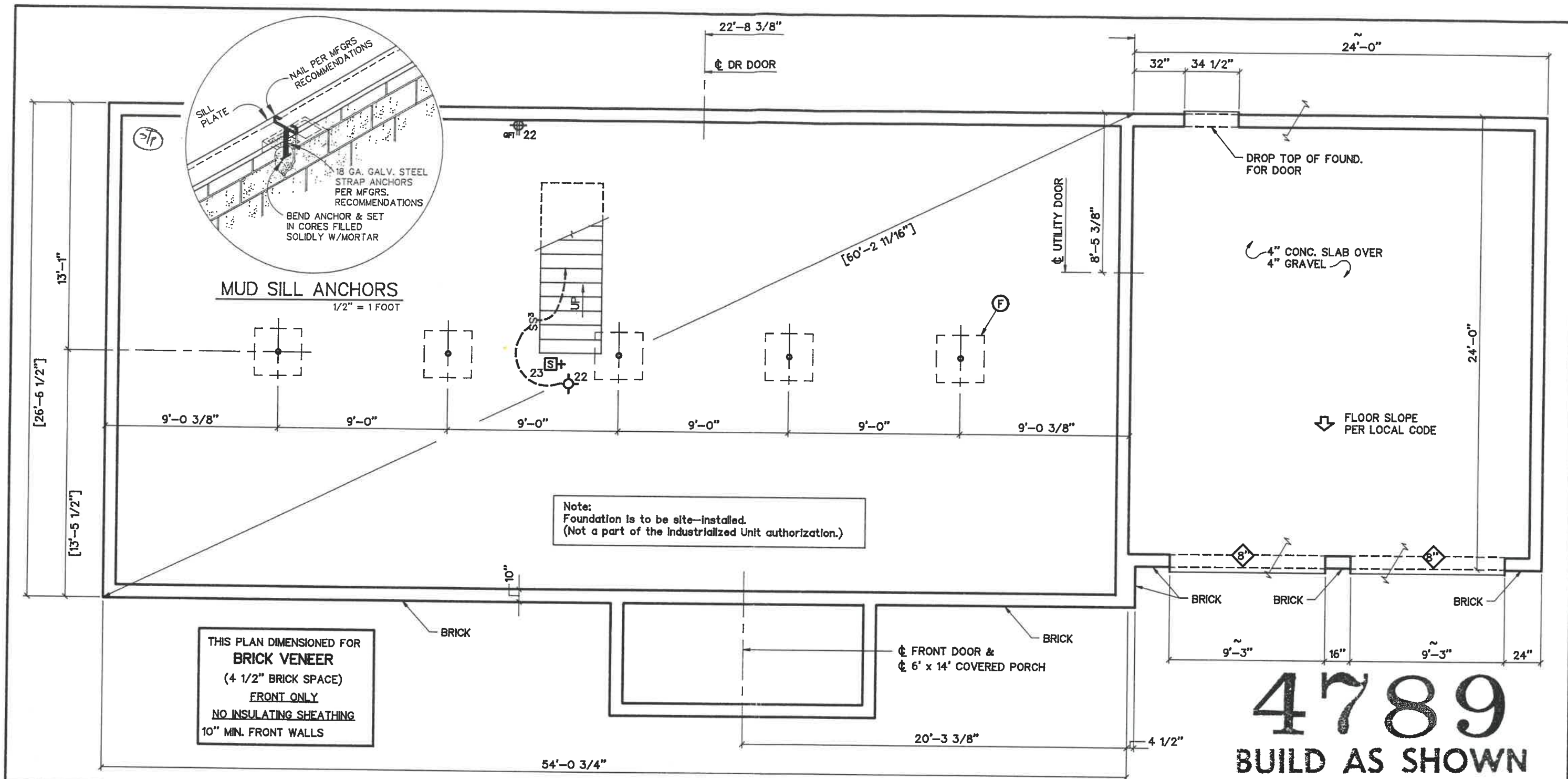
**FIELD NOTES**  
 \*\*\*\*\*  
 THE FOLLOWING ITEMS ARE TO BE SITE-INSTALLED AND ARE NOT A PART OF THE INDUSTRIALIZED UNIT AUTHORIZATION.  
 FORCED AIR HEATING SYSTEM  
 WATER HEATER  
 GAS VENTING SYSTEM  
 COMBUSTION AIR REQUIREMENTS  
 GARAGE  
 COVERED PORCH

**4789**  
**BUILD AS SHOWN**

THIS PLAN DIMENSIONED FOR  
**2x6 EXTERIOR WALLS**

4789.DWG	<b>FLOOR PLAN</b>	REVISION DATE		<b>Unibilt Industries, Inc.</b> P.O. Box 373 * Vandalia, Ohio 45377	<b>Columbia</b>	MODEL 1481-EE COE	1
7/16/89		3/1/91					
3/16" = 1'-0"							
T.R.L.							
© 1989 Unibilt Industries, Inc.							





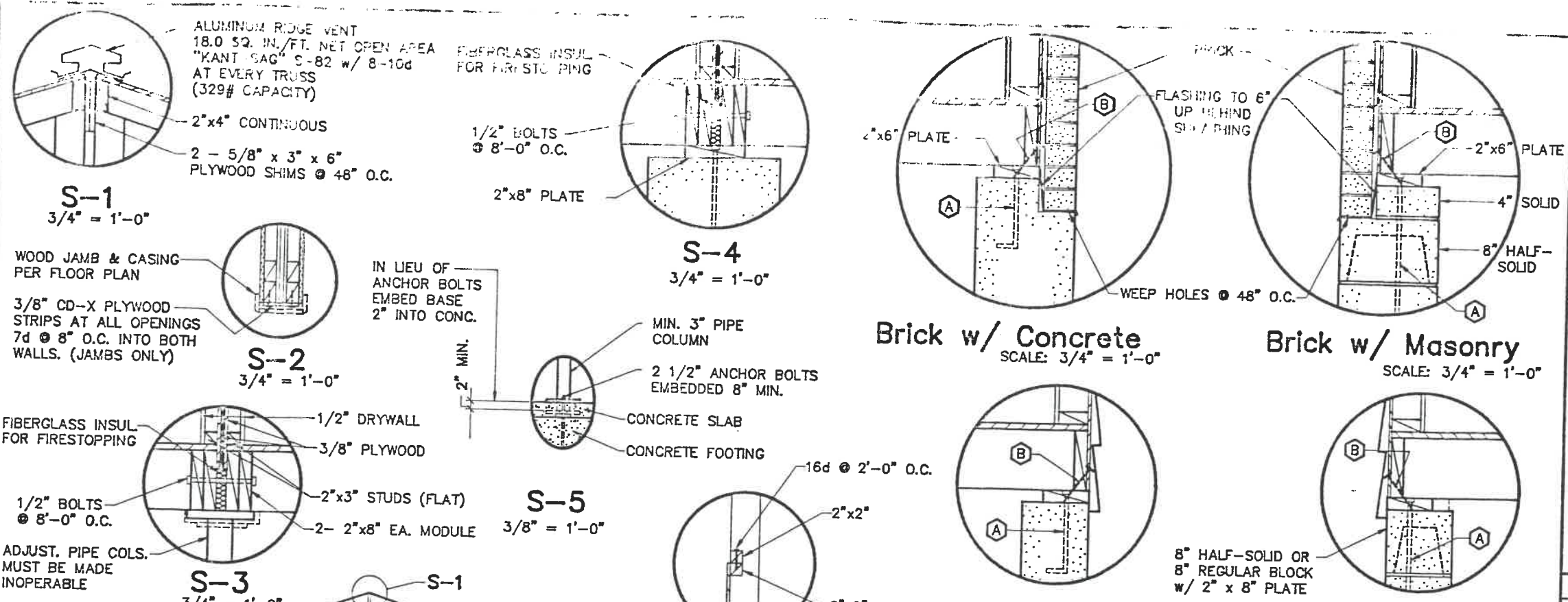
THIS PLAN DIMENSIONED FOR  
**BRICK VENEER**  
 (4 1/2" BRICK SPACE)  
 FRONT ONLY  
 NO INSULATING SHEATHING  
 10" MIN. FRONT WALLS

Note:  
 Foundation is to be site-installed.  
 (Not a part of the Industrialized Unit authorization.)

**4789**  
**BUILD AS SHOWN**

<p>(R) Polythelene Vapor Barrier over 4" Washed Gravel</p> <p>(S) 4" Concrete Slab over 4" Gravel</p> <p>(P) 8" x 16" Pilasters</p> <p>8 indicates Slab Drop Below Rim or Basement Floor</p>	<p>( ) Dimension with 3/4" Insulating Sheathing</p> <p>[ ] Dimension with Brick Front</p> <p>16/7 W. x H. of O.H. Garage Door</p> <p>↘ Floor Sloped Down</p>	<p>(F) 30" x 30" x 12" Poured Concrete Footings w/ 3" Pipe Columns w/ 1/2"x8"x8" Top Plate</p> <p>(W) 2x4 Studs @ 24" o.c. max. w/ 5/8" Firecode Drywall, Both Sides. (One-Hour Fire Rating)</p> <p>(D) 3/4-Hour Fire Rated Door</p>	<p>(C) Garage Ceiling to have two (2) layers of 5/8" Firecode drywall per Gypsum Assoc. File No. FC 5406 (One-Hour Fire Rating)</p> <p>(E) The sills of all door openings between any garage and adjacent interior spaces shall be raised not less than four (4) inches above garage floor</p>	<p><b>FOUNDATION LOADINGS</b></p> <p>Max. Foundation Wall Load: 1,700 pif</p> <p>Max. Column Load: 6,000 #</p> <p>Minimum Soil Bearing: 1,300 psf</p>	<p>8+ Bullder to mount smoke detector (provided) above foot of stairs on the same level as the bottom of the floor joists and run circuit from the electric drop provided in deck. Connect: orange/red; white/white; and black/black. All smoke detectors shall be wired to the same electrical circuit and interconnected so the activation of one causes all integral alarms to operate.</p>
--	--	--	--	---	--





FOUNDATION WALLS & FOOTINGS				
Foundation Wall Const.	Max. depth below grade (a,b)	Type	Thickness	Siding above Brick above Conc. Foot.
Hollow Masonry (unreinforced)	8"	4' (6')	4.5' (6')	8" x 16"
	10"	5' (7')	5.5' (7')	10" x 20"
	12"	7'	7'	12" x 24"
Plain Concrete	8"	7'	7'	8" x 16"

Note: a. Exterior finished grade to bsm't floor or inside grade.  
 b. Depth below grade may be increased up to that indicated in parentheses where such increase is warranted by soil conditions and local experience and is approved by the building official.

- NOTES**
- (A) Sill plate anchorage to be 1/2" bolts @ 6'-0" o.c. maximum; 12" from all corners. Embed 8" into concrete; 15" into masonry. Alternate galv. steel strap anchors per manufacturer's specs. as approved by local codes.
  - (B) Toenail house to foundation plate w/ 16d c.c. nails @ 12" o.c. all sides.
  - (C) Walls to have approved dampproofing. If habitable rooms are located below grade, walls shall have approved waterproofing.
  - (D) -IN INDIANA- Underfloor space shall be graded so as to direct any water accumulation to the sump pit located near the access opening

- GENERAL NOTES**
1. All foundation work by builder.
  2. Foundation must be square and level.
  3. Exterior grade at time of delivery must be 24" min. to 40" max. below top of sill plate.
  4. Provide termite protection, if required.
  5. Adequate drainage must be provided
  6. Stoops and porches must be poured after house is set.
  7. Sill plate anchor bolts may not project above top of wood plate.
  8. Foundation plan is suggested design and is subject to local site and soil conditions and local codes.

**BUILDER NOTES**

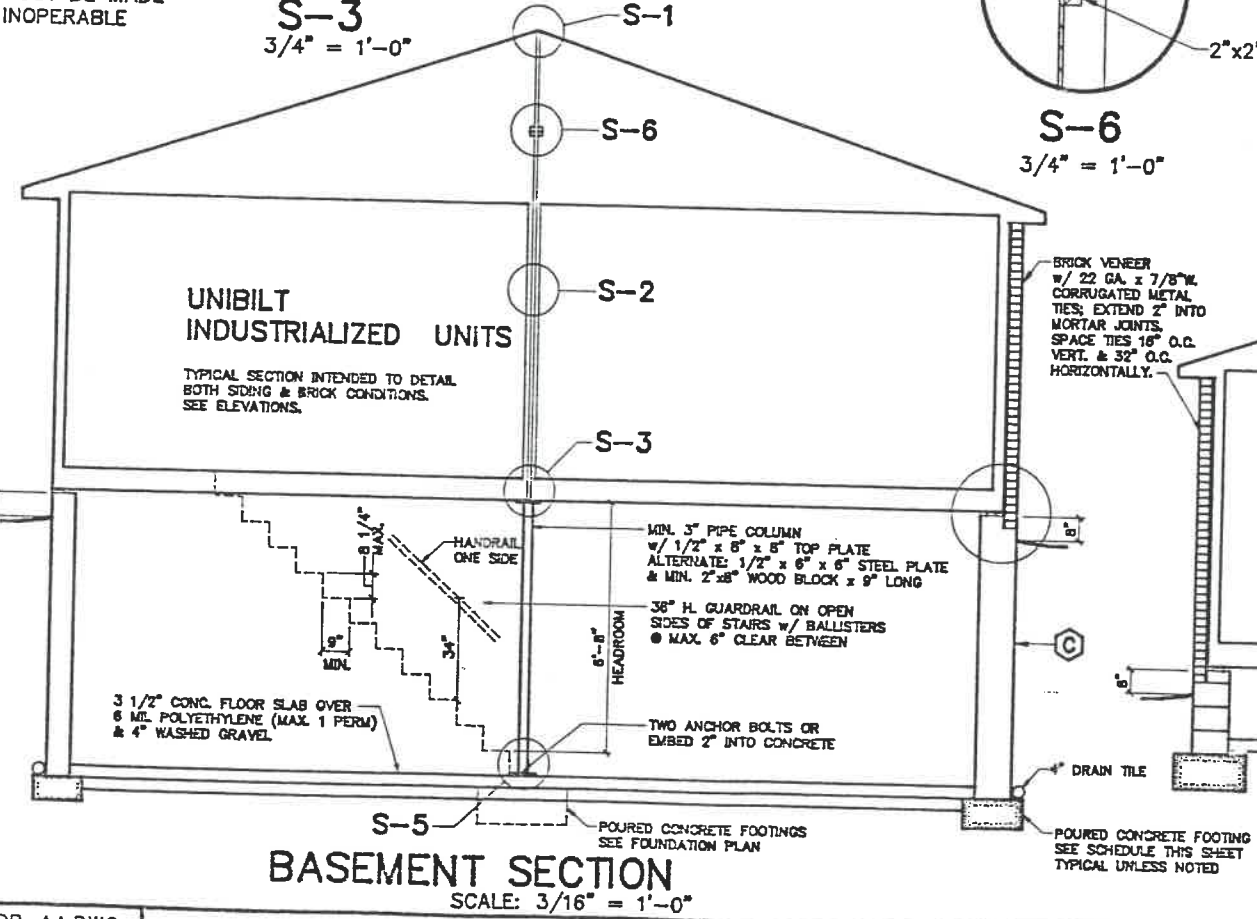
It is your responsibility to have plans, details and specifications checked and approved by the proper FHA, VA, zoning and local code authorities.

Alter your site work as required and advise Unibilt Industries of any special requirements at the time your order is placed.

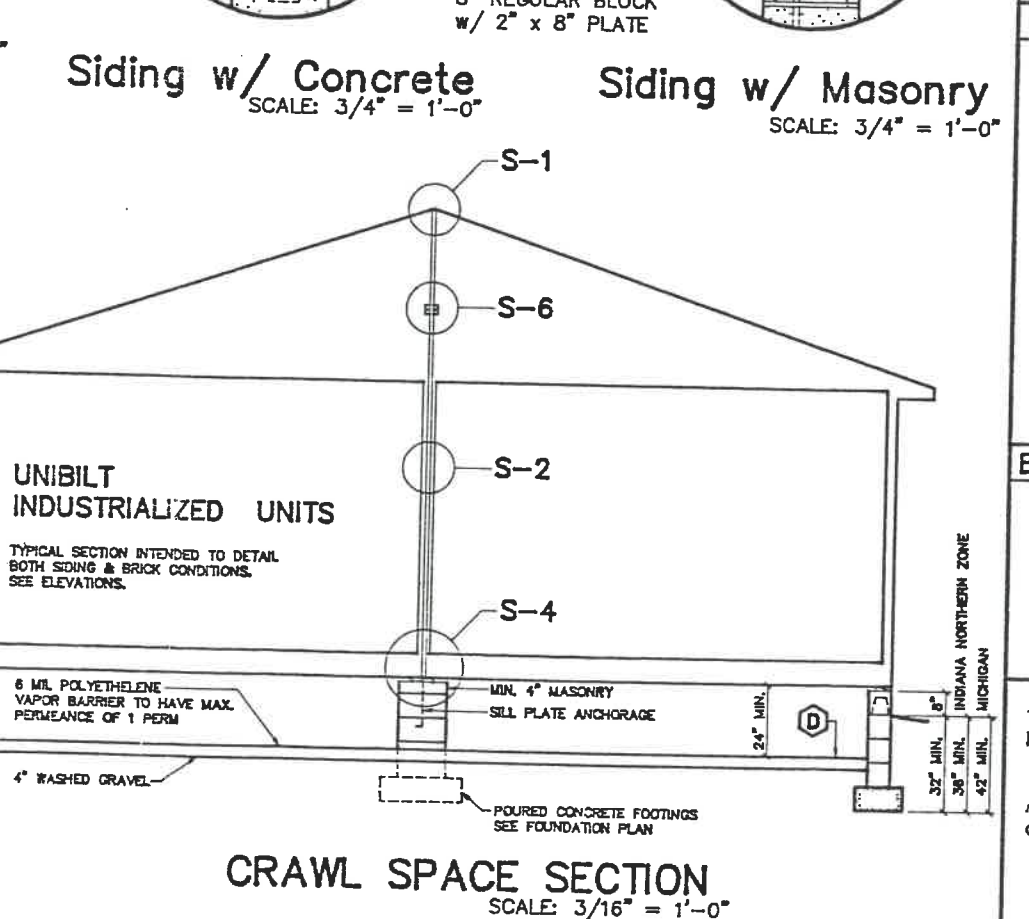
These units are not to be installed in a FEMA flood prone area

All models shall be installed with fire separation distances of greater than five (5) feet to any property line.

THESE SECTIONS & DETAILS ARE TYPICAL & INTENDED TO ILLUSTRATE BOTH SIDING & BRICK CONDITIONS OF CRAWL & BASEMENT TYPE HOUSES.



**BASEMENT SECTION**  
SCALE: 3/16" = 1'-0"



**CRAWL SPACE SECTION**  
SCALE: 3/16" = 1'-0"

SDR-AA.DWG  
2/12/85  
3/16" = 1'-0"  
T.R.L.

**SECTIONS & DETAILS**

REVISION DATE	
7/2/90	
9/20/90	

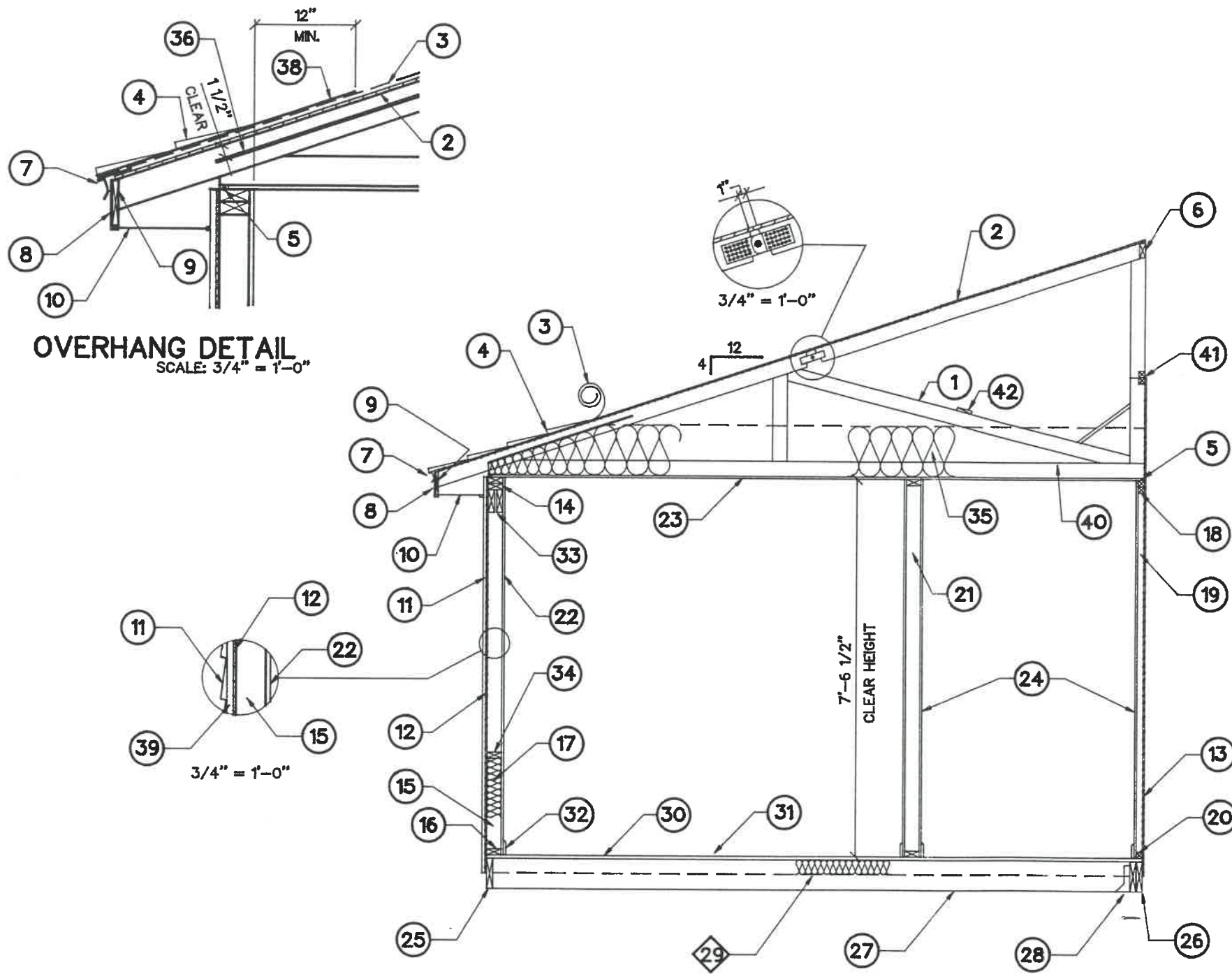


**Unibilt Industries, Inc.**  
P.O. Box 373 • Vandalia, Ohio 45377

**RANCH**  
FIELD WORK







**OVERHANG DETAIL**  
SCALE: 3/4" = 1'-0"

**CROSS SECTION**  
SCALE: 3/8" = 1'-0"

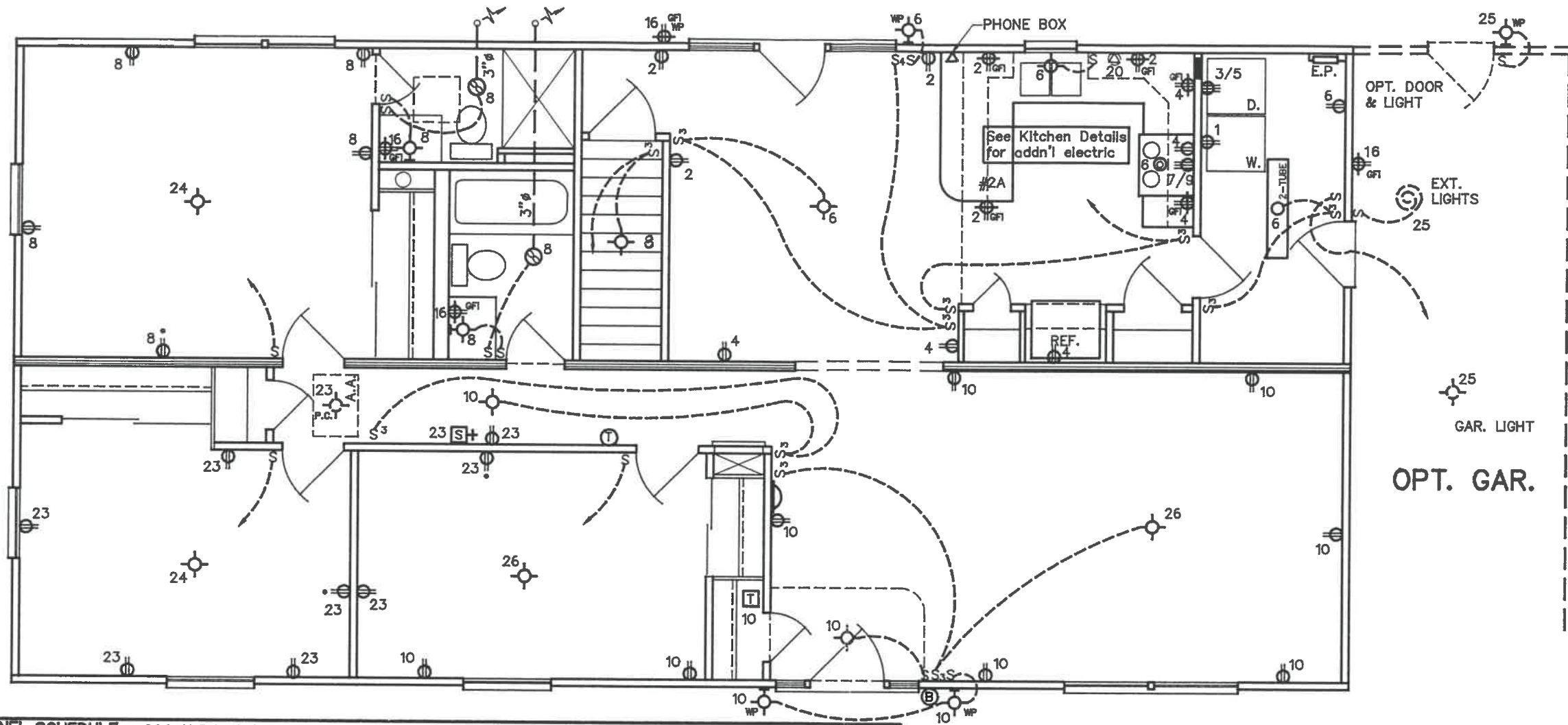
- | NO. | DESCRIPTION   |
|-----|---|
| 1   | Wood Trusses @ 2'-0" o.c.   |
| 2   | 7/16" - 24/16 APA Rated Oriented Strand Board (OSB) Sheathing<br>Optional: 3/8" - 24/0 Interior Plywood w/Exterior Glue & "H" clips<br>Optional: 1/2" - 32/16 Interior Plywood w/Exterior Glue w/o clips                    |
| 3   | Shingle Underlayment Felt   |
| 4   | Fiberglass Asphalt Seal-Down Shingles   |
| 5   | 1/2" X 1" Plywood Strip - full length of house. (32/16 Group 1, complying w/PDS)  |
| 6   | 2" x 4" Ridgeboard - full length of house.  |
| 7   | .026" Aluminum Drip Edge  |
| 8   | .026" Aluminum Fascia   |
| 9   | 1" x 6" Wood Sub-Fascia   |
| 10  | .026" Vented Aluminum Soffit or Rigid PVC Soffit<br>Min. Free Ventilating Area per foot of soffit material for listed overhangs shall be<br>11 3/4" O.H.=4.37 sq. in., 14 3/4" O.H.=3.28 sq. in., 21 3/4" O.H.=2.07 sq. in. |
| 11  | Hardboard Siding shall meet DOC PS 60-73 (ANSI 135.6-73).<br>Rigid PVC Siding shall meet DOC PS 55-72 and BOCA 79-22, and shall be installed over optional Rigid Foam Insulation or 15# felt sheathing paper over plywood.  |
| 12  | 3/8" - 24/0 Interior Plywood w/Exterior Glue or 3/8" All Weather <sup>OSB</sup> Upson Sheathing   |
| 13  | 3/8" - 24/0 Interior Plywood w/Exterior Glue -  |
| 14  | Bearing Walls 2 - 2" x 4" Top Plates. Optional: 2" x 6" plates<br>Joints to overlap 48" min.; Single plate Non-bearing End Walls.   |
| 15  | 2" x 4" Studs @ 16" o.c. - (Stud Grade SPF). Optional: 2" x 6" studs @ 16" o.c.   |
| 16  | 2" x 4" Sole Plate. Optional: 2" x 6" plate   |
| 17  | R-13 Batt Insulation - (Effective R-12.7 in 3 1/2" wall cavity)<br>Optional: R-19 Batt Insulation w/2" X 6" Studs   |
| 18  | 2 - 2" x 2" Top Plates - Overlap joints 48" min.  |
| 19  | 2" x 4" Studs (flat) @ 16" o.c. (Stud Grade SPF)  |
| 20  | 2" x 2" Sole Plate  |
| 21  | Interior Partitions: 2" x 4" studs @ 24" o.c.   |
| 22  | 1/2" Foil-backed (vapor barrier) Drywall  |
| 23  | 1/2" Drywall  |
| 24  | 1/2" Drywall  |
| 25  | 2" x Band - Size and species to match No. 27.   |
| 26  | 2 - 2" x - Size and species to match NO. 27.  |
| 27  | 2" x 8" Floor Joists @ 16" o.c. - SPIB No. 2 KD15; Also See 27a.  |
| 27A | Alternate Floor Joists<br>2" x 10" @ 16" o.c.                      2" x 10" @ 16" o.c.  |
|     | Douglas Fir                      No. 2                      Southern Pine                      No. 2  |
|     | Hem-Fir                      No. 2                      Spruce                      No. 2   |
|     | Hemlock                      No. 2                      Spruce-Pine-Fir                      No. 2  |
|     | All species used at 19% max. moisture content.  |
| 28  | 18 ga. Galvanized Steel Hangers   |
| 30  | 3/4" (23/32") T&G Plywood, Group 1 w/Exterior Glue, Sturd-I-Floor Rated Subfloor  |
| 31  | Finished Floor: Vinyl Linoleum (stapled) or FHA Approved Carpet and Pad<br>(Carpet shall pass the DOC FF-1 "pill test")   |
| 32  | 2 1/4" Prefinished Base   |
| 33  | 2 - 2" x Wood Headers w/1/2" plywood filler - SPIB No. 2 KD15   |
| 34  | 2" x 4" Rough Window Sills  |
| 35  | R-38 Insulation   |
| 36  | Eave Baffles @ 48" o.c. (min. 1/4" plywood)   |
| 38  | Mineral Surfaced Roll Roofing (Min. 32" wide)   |
| 39  | Optional: 3/4" Rigid Foam Insulation (R-5.4) "TUFF-R by Celotex Corp.   |
| 40  | 22" x 30" Attic Access - See Electrical Plan for location.  |
| 41  | 2 - 2" x 2"   |
| 42  | 1" x 4" Lateral Bracing w/ 2-10d Commons at ea. Truss.<br>All Trusses Except 12'-0" Span, 4/12 Pitch.   |

- NOTES:**
- A. Windows - "Andersen" Narrowline Perma-Shield with insulating glass and screens.
  - B. Exterior Doors - Metal clad insulated. Perma-Door or equal.
  - C. Drywall Joint System - Gold Bond Quick-weld. Finish with two coats of prime paint.

- FIELD NOTES:**
- ◆ 29 R-11 Batt Insulation Optional: R-19 Batt Insulation



1688 6/1546  
 1689 8/1370  
 1690 10/1560  
 1500 23/1740  
 24/ 960  
 26/ 960



**ELECTRIC PANEL SCHEDULE** 200 AMP MAIN BREAKER DISCONNECT LOCATED IN PANEL. VOLTAGE: 120/240 VOLTS, SINGLE PHASE  
 PANEL FEEDER WIRE SIZE: #2/0 AWG COPPER OR #4/0 ALUMINUM (TYPE SE - STYLE SER)

SERVES	WIRE SIZE	BREAKER A/P	CIRCUIT #	CIRCUIT #	BREAKER A/P	WIRE SIZE	SERVES	
CLOTHES WASHER	#12-2 W/G	20/1	1	2	20/1	#12-2 W/G	SMALL APPLIANCE	
CLOTHES DRYER	#10-3	30/2	3	4	20/1	#12-2 W/G	SMALL APPLIANCE	
KITCHEN RANGE	# 6-3	40/2	5	6	15/1	#14-2 W/G	LIGHTS/OUTLETS	
			7	8	15/1	#14-2 W/G	LIGHTS/OUTLETS	
			9	10	15/1	#14-2 W/G	LIGHTS/OUTLETS	
			11	12				
			13	14				
			15	16	15/1	#14-2 W/G	BATH/EXTERIOR OUTLETS	
			17	18	15/1	#14-2 W/G	DISPOSAL (OPT.)	
			19	20	20/1	#12-2 W/G	DISHWASHER (OPT.)	
			21	22	20/1	#12-2 W/G	BASEMENT (IF APPLICABLE)	
LIGHTS/OUTLETS/SMOKE DETECTOR	#14-2 W/G	15/1	23	24	15/1	#14-2 W/G	LIGHTS/OUTLETS	
GARAGE (OPT.)	#12-2 W/G	20/2	25	26	15/1	#14-2 W/G	LIGHTS/OUTLETS	
			27	28				
			29	30				
			31	32				
			33	34				
			35	36				
			37	38				
			39	40				

ALL BRANCH CIRCUIT CABLES TO BE TYPE NM-B COPPER w/ THHN INSULATION UNLESS OTHERWISE NOTED.

ELECTRIC LOAD	
Small Appliance circuits @ 1500 w. each	3,000 watts
Laundry branch circuits	1,500
General Lighting & Receptacles @ 3 w./sf	4,212
Range (8 kw)	8,000
Water Heater	4,500
Dryer	5,600
Exhaust Motors (Range-2.5A., Bath-.75A.)	480
	<u>27,292 watts</u>

FEEDER AND SERVICE LOAD	
Electric Baseboard Heaters @ 40%	3.6 kVA
First 10 kVA @ 100%	10.0
Remainder of Load @ 40%	6.9
	<u>20.5 kVA</u>

**S+** Smoke Detectors located on main floor and lower level or basement shall be inter-connected so that activation of one causes all integral alarms to operate.

**4789**  
**BUILD AS SHOWN**

4789.DWG  
 7/16/89  
 3/16" = 1'-0"  
 T.R.L.

**ELECTRICAL PLAN**

REVISION DATE  
 3/1/91

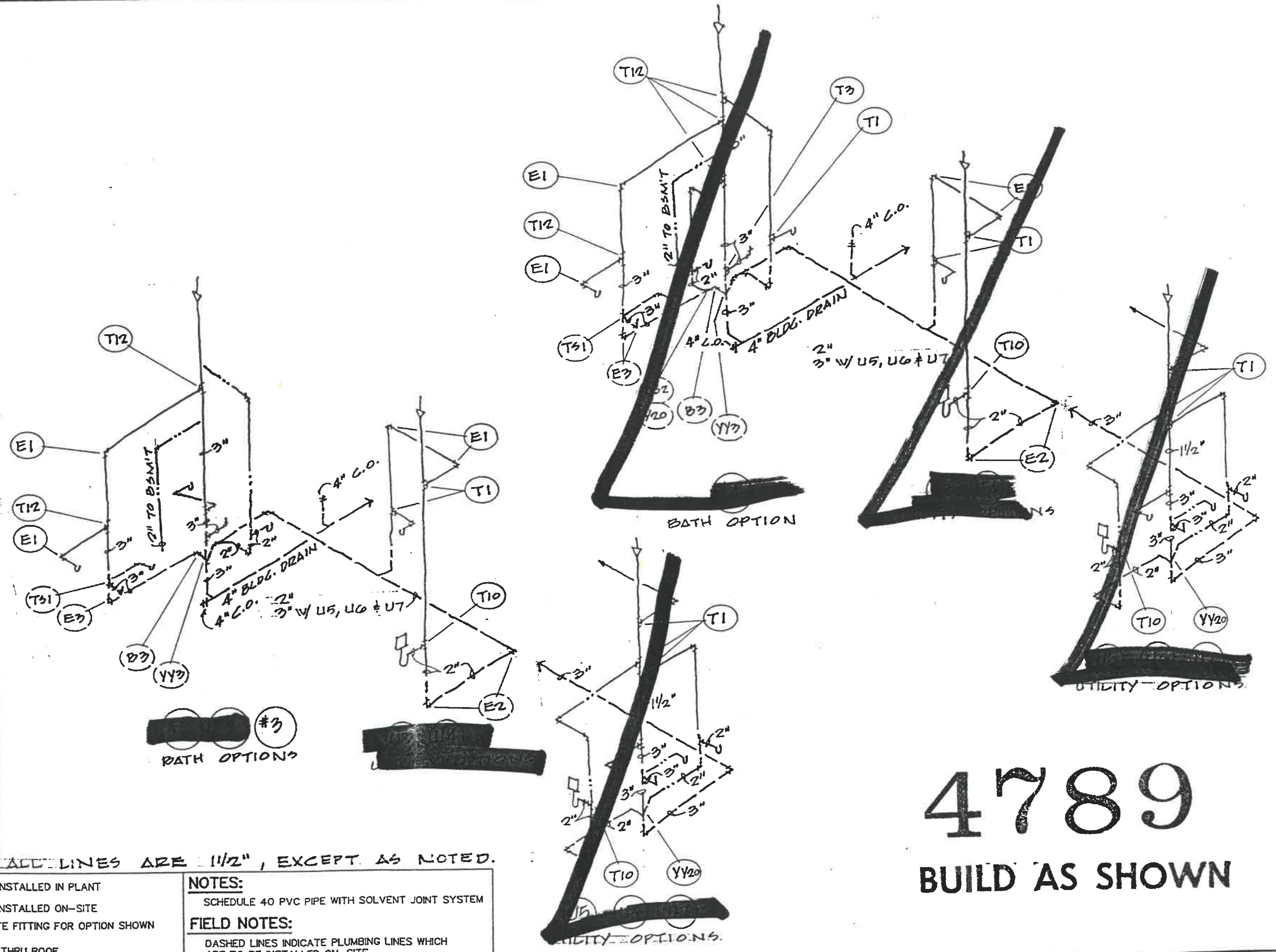


**Unibilt Industries, Inc.**  
 P.O. Box 373 \* Vandalia, Ohio 45377

**Columbia**  
 MODEL 1481-EE COE



PLANT	SITE	SIZE	FITTING	MARK
		1 1/2"	COUPLINGS	C1
		2"		C2
		3"		C3
		2" x 1 1/2"	BUSHINGS	BU1
		3" x 2"		BU2
		1 1/2" x 3"	REDUCER	R1
			CLOSET FLANGE	
		1 1/4" x 1 1/2"	L.A. PATTERN P-TRAP	LP1
		1 1/2"		LP2
		2"	P-TRAP SOLVENT JT.	P2
		1 1/2"	90 ELBOW	E1
		2"		E2
		3"		E3
		1 1/2"	90 STREET ELBOW	ES1
		2"		ES2
		3"		ES3
		1 1/2"	1/8 BEND - 45	B1
		2"		B2
		3"		B3
		1 1/2"	1/8 STREET BEND - 45	BS1
		2"		BS2
		3"		BS3
		1 1/2"	SANITARY TEES	T1
		2"		T2
		3"		T3
		2" x 1 1/2" x 2"	REDUCE. SAN. TEES	T10
		2" x 2" x 1 1/2"		T11
		3" x 3" x 1 1/2"		T12
		3" x 3" x 2"		T13
		3" x 3" x 1 1/2"	DOUBLE SAN. TEES	TT1
		3" x 3" x 2"		TT2
		3"		TT3
		3" x 3" x 3" x 1 1/2"	R-L SAN. TEE / SIDE INLET	TS1
		1 1/2"	WYE	Y1
		2"		Y2
		3"		Y3
		3" x 3" x 1 1/2"		Y10
		3" x 3" x 2"		Y20
		3"	DOUBLE WYE	YY3
		3" x 3" x 1 1/2" x 1 1/2"		YY10
		3" x 3" x 2" x 2"		YY20
		1 1/2"	DOUBLE SAN. TEE	TC1
		L.F. 1 1/2" PVC PIPE		
		2"		
		3"		
		DI-ELECTRIC UNIONS		
		150# PRESSURE RELIEF VALVE		
2		FROST-PROOF HOSE BIBB		
2		1/2" COUPLINGS		
		L.F. - 1/2" L-HARD COPPER PIPE		



ALL LINES ARE 1 1/2", EXCEPT AS NOTED.

LEGEND	
(E1)	FITTINGS INSTALLED IN PLANT
(E1)	FITTINGS INSTALLED ON-SITE
(E1)	ALTERNATE FITTING FOR OPTION SHOWN
▽	3" VENT THRU ROOF
—	LINES INSTALLED IN PLANT
---	LINES INSTALLED ON-SITE
---	OPTIONAL LINES INSTALLED IN PLANT

**NOTES:**  
 SCHEDULE 40 PVC PIPE WITH SOLVENT JOINT SYSTEM

**FIELD NOTES:**  
 DASHED LINES INDICATE PLUMBING LINES WHICH ARE TO BE INSTALLED ON-SITE

PLS-AA.DWG  
 12/30/91

### PLUMBING SANITARY SYSTEM

REVISION DATE



**Unibilt Industries, Inc.**  
 P.O. Box 373 \* Vandalia, Ohio 45377

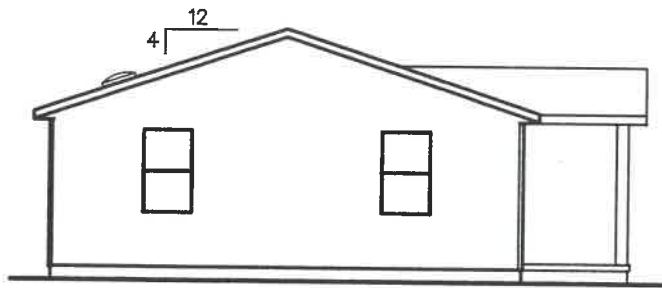
## Columbia

MODEL COA COB COC COD COE

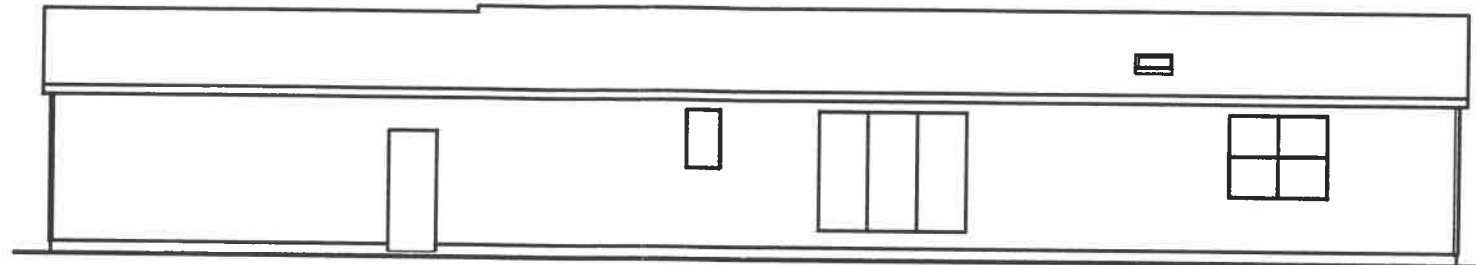
# 4789

## BUILD AS SHOWN





**LEFT SIDE ELEVATION**  
SCALE: 3/32" = 1'-0"



**REAR ELEVATION**  
SCALE: 3/32" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 3/32" = 1'-0"

**4789**  
**BUILD AS SHOWN**



**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

4789.DWG  
7/16/89  
3/16" = 1'-0"  
T.R.L.

**EXTERIOR ELEVATIONS**

© 1989 Unibilt Industries, Inc.

REVISION DATE	
3/1/91	



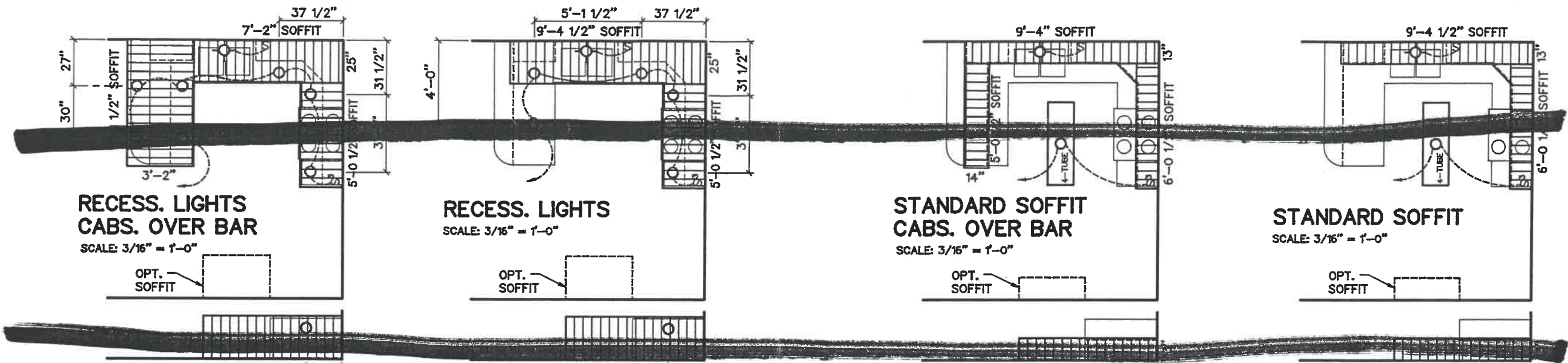
**Unibilt Industries, Inc.**  
P.O. Box 373 • Vandalla, Ohio 45377

**Columbia**

MODEL 1481-EE COE

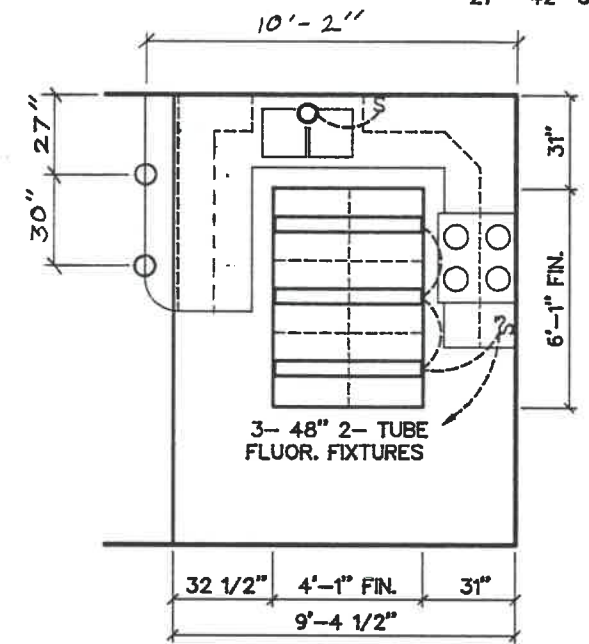




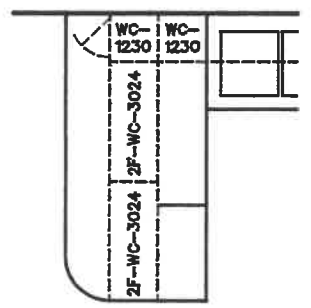


15" 30" CAB.  
21" 42" CAB.

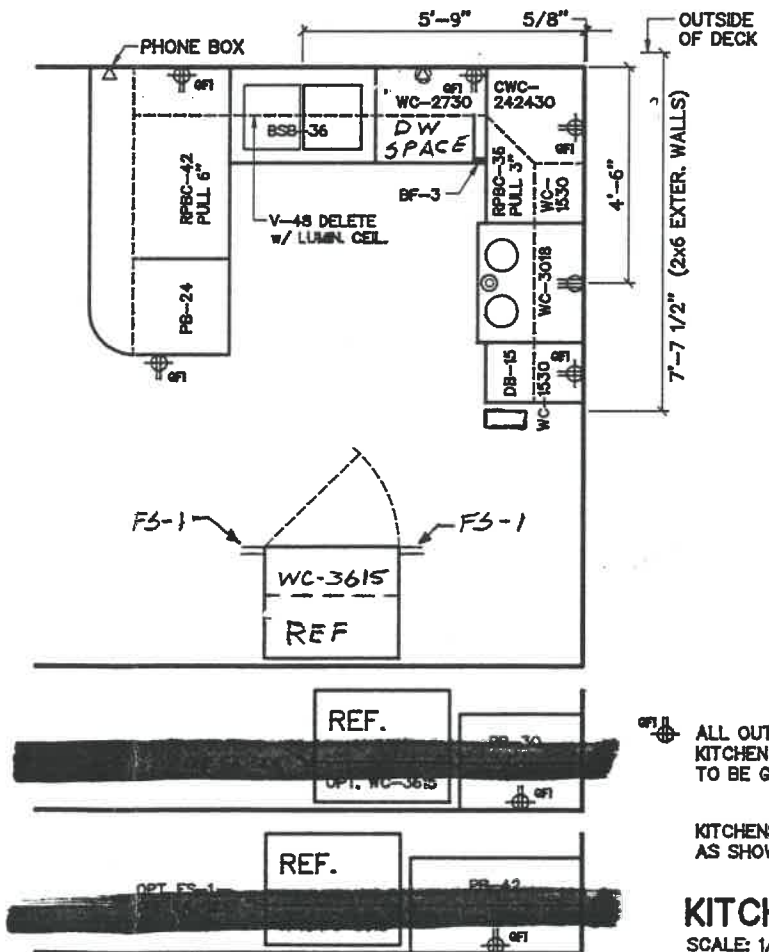
15" 30" CAB.  
21" 42" CAB.



**LUMINOUS CEILING**  
SCALE: 3/16" = 1'-0"



**CABINETS OVER BAR**  
SCALE: 1/4" = 1'-0"



ALL OUTLETS ABOVE KITCHEN COUNTERTOPS TO BE GFI PROTECTED.

KITCHENS ARE AVAILABLE AS SHOWN OR REVERSED.

**KITCHEN** (2A)  
SCALE: 1/4" = 1'-0"

# 4789

## BUILD AS SHOWN

KIT-2A.DWG  
5/6/91  
1/4" = 1'-0"  
T.R.L.

### KITCHEN CABINETS LAYOUT

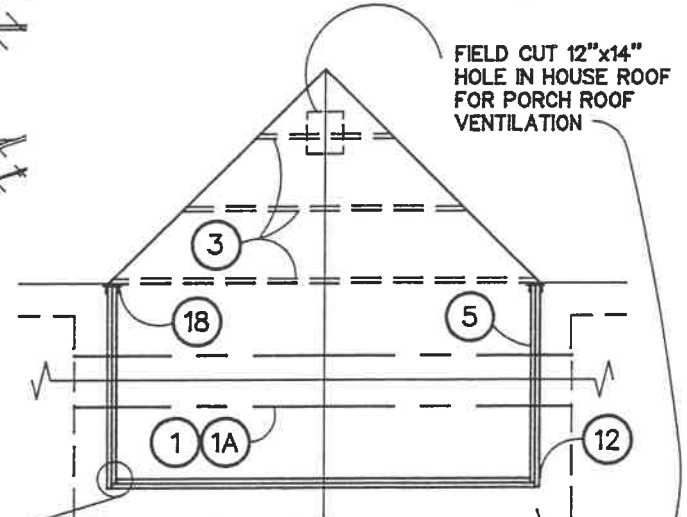
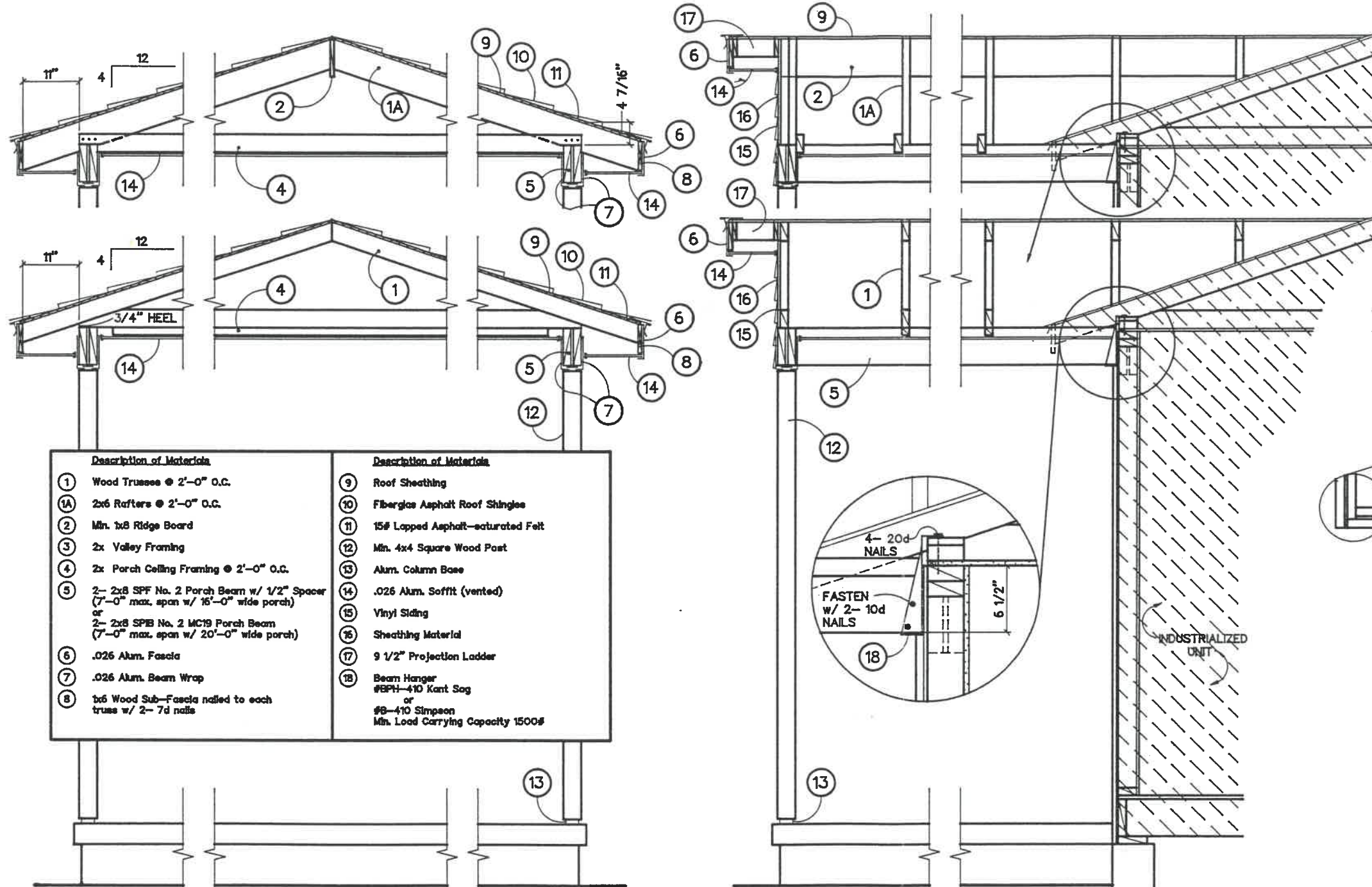
REVISION	DATE



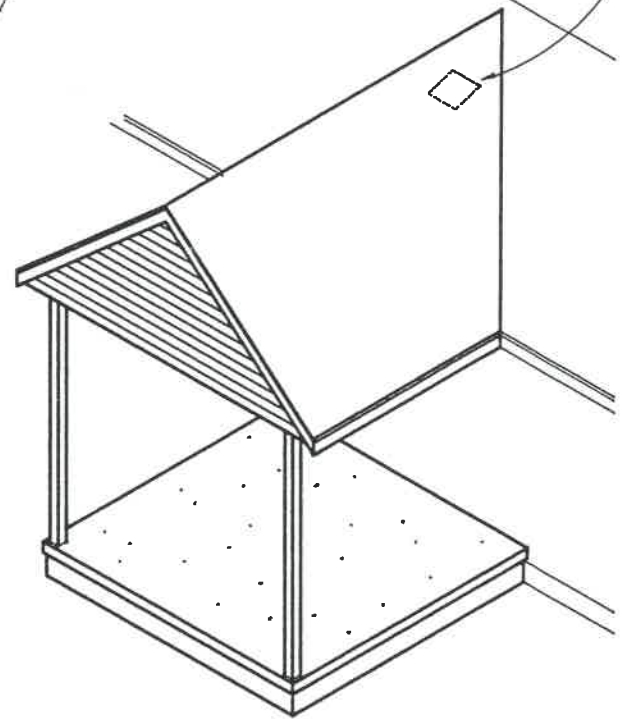
**Unibilt Industries, Inc.**  
P.O. Box 373 \* Vandalla, Ohio 45377

8-2A





**PORCH FRAMING PLAN**  
SCALE: 3/16" = 1'-0"



**GABLE PORCH**

Description of Materials	Description of Materials
① Wood Trusses @ 2'-0" O.C.	⑨ Roof Sheathing
①A 2x6 Rafters @ 2'-0" O.C.	⑩ Fiberglass Asphalt Roof Shingles
② Min. 1x8 Ridge Board	⑪ 15# Lapped Asphalt-saturated Felt
③ 2x Valley Framing	⑫ Min. 4x4 Square Wood Post
④ 2x Porch Ceiling Framing @ 2'-0" O.C.	⑬ Alum. Column Base
⑤ 2- 2x8 SPF No. 2 Porch Beam w/ 1/2" Spacer (7'-0" max. span w/ 16'-0" wide porch) or 2- 2x8 SPF No. 2 MC19 Porch Beam (7'-0" max. span w/ 20'-0" wide porch)	⑭ .026 Alum. Soffit (vented)
⑥ .026 Alum. Fascia	⑮ Vinyl Siding
⑦ .026 Alum. Beam Wrap	⑯ Sheathing Material
⑧ 1x6 Wood Sub-Fascia nailed to each truss w/ 2- 7d nails	⑰ 9 1/2" Projection Ladder
	⑱ Beam Hanger #BPH-410 Kant Sag or #B-410 Simpson Min. Load Carrying Capacity 1500#

**Field Note**  
This Porch is to be site-installed and is not a part of the Industrialized Unit Authorization.

**Note:** This Drawing is Designed for a Maximum Porch Size of 7'-0" deep x 20'-0" wide. Porch Trusses and Rafters are Designed to match Industrialized Unit Trusses w/ 4/12 Pitch and 11" Overhang.

RPR-AB.DWG  
3/13/91  
1/2" = 1'-0"  
T.R.L.

## GABLE PORCH DETAILS

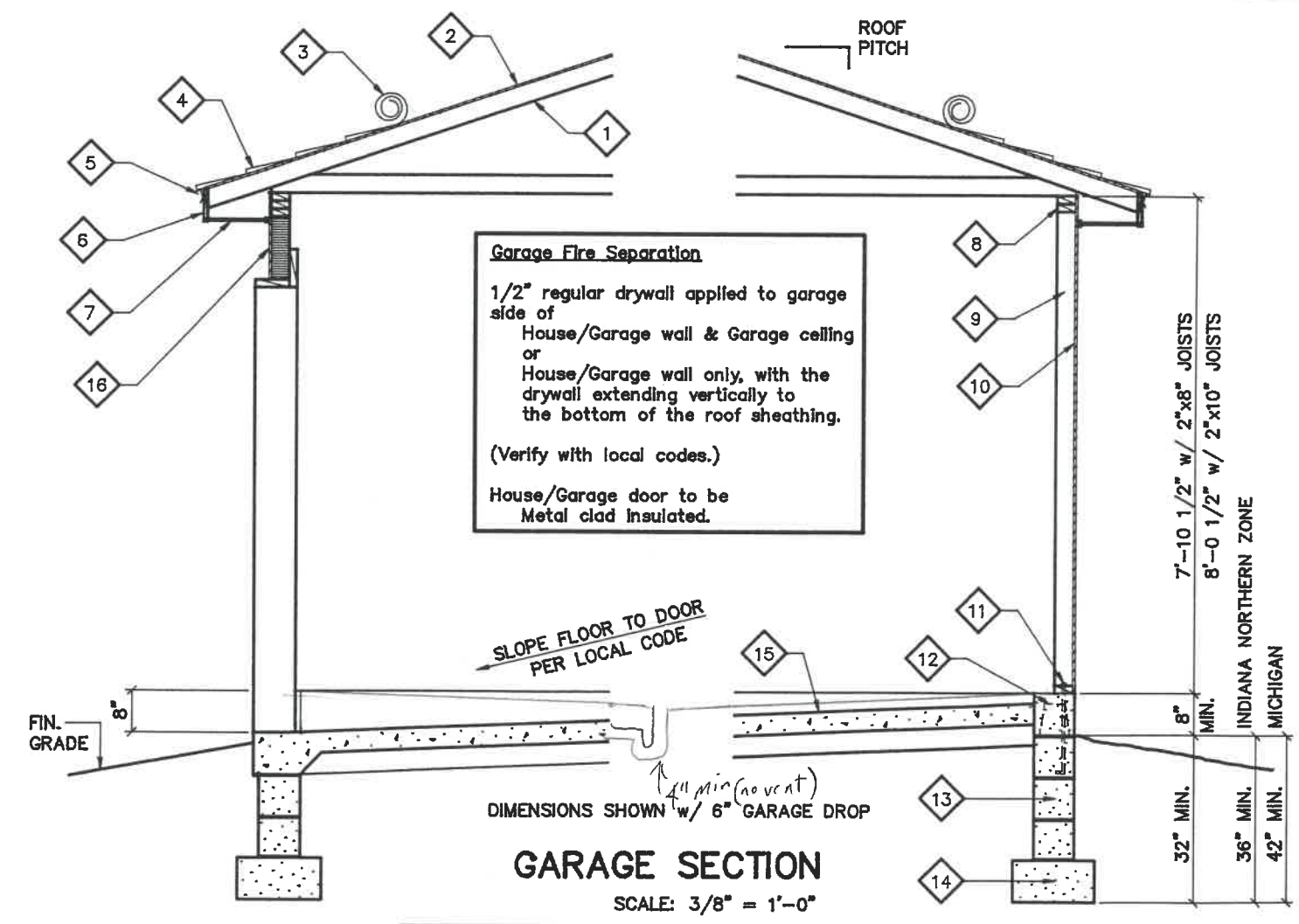
REVISION	DATE



**Unibilt Industries, Inc.**  
P.O. Box 373 • Vandalia, Ohio 45377



Item	Description	Item	Description
1.	Wood Prefabricated Trusses @ 2'-0" o.c.	10.	1/2" Sheathing with 1/2" Plywood Corner Bracing, or equal, as recommended by manufacturer
2.	Minimum 3/8" Plywood or Roof Sheathing bearing APA Panel Index 24/0	11.	1/2" Anchor Bolts @ 6'-0" o.c. maximum. 12" from all corners. Embed 8" into concrete; 15" into masonry. Alternate galv. steel strap anchors per manufacturer's specifications and as approved by local building official.
3.	Shingle Underlayment Felt	12.	Concrete Block Cap Block
4.	Fiberglas-Asphalt Seal-Down Shingles	13.	8" Concrete Block
5.	.026" Aluminum Drip Edge	14.	8" x 16" poured Concrete
6.	.026" Aluminum Fascia on 1"x6" Sub-Fascia	15.	4" Concrete Slab over 4" Gravel
7.	.026" Aluminum Vented Soffit or PVC Vented Soffit	16.	Garage Door Header 16' Wide Doors - 3 1/2" x 12" Laminated Beam 9' Wide Doors - 2- 2"x12" SPIB No. 2 KD
8.	Double 2"x4" Top Plate		
9.	2"x4" Studs @ 16" o.c.		



Note:  
 Garage is to be site-installed.  
 (Not a part of the industrialized Unit authorization.)

GAP-AA.DWG  
 7/3/90  
 3/8" = 1'-0"  
 T.R.L.

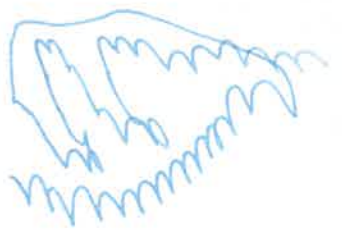
**SITE-BUILT  
 GARAGE SECTION**

REVISION	DATE



**Unibilt Industries, Inc.**  
 P.O. Box 373 • Vandalia, Ohio 45377





- A - PK Nail Found
- B - 4" Dia. Conc. Monument Found
- C - Nail Found
- D - Iron pin Found
- E - Conc. Monument Set
- F - PK Nail Set
- G - Point Established
- H - R.R. spike Found

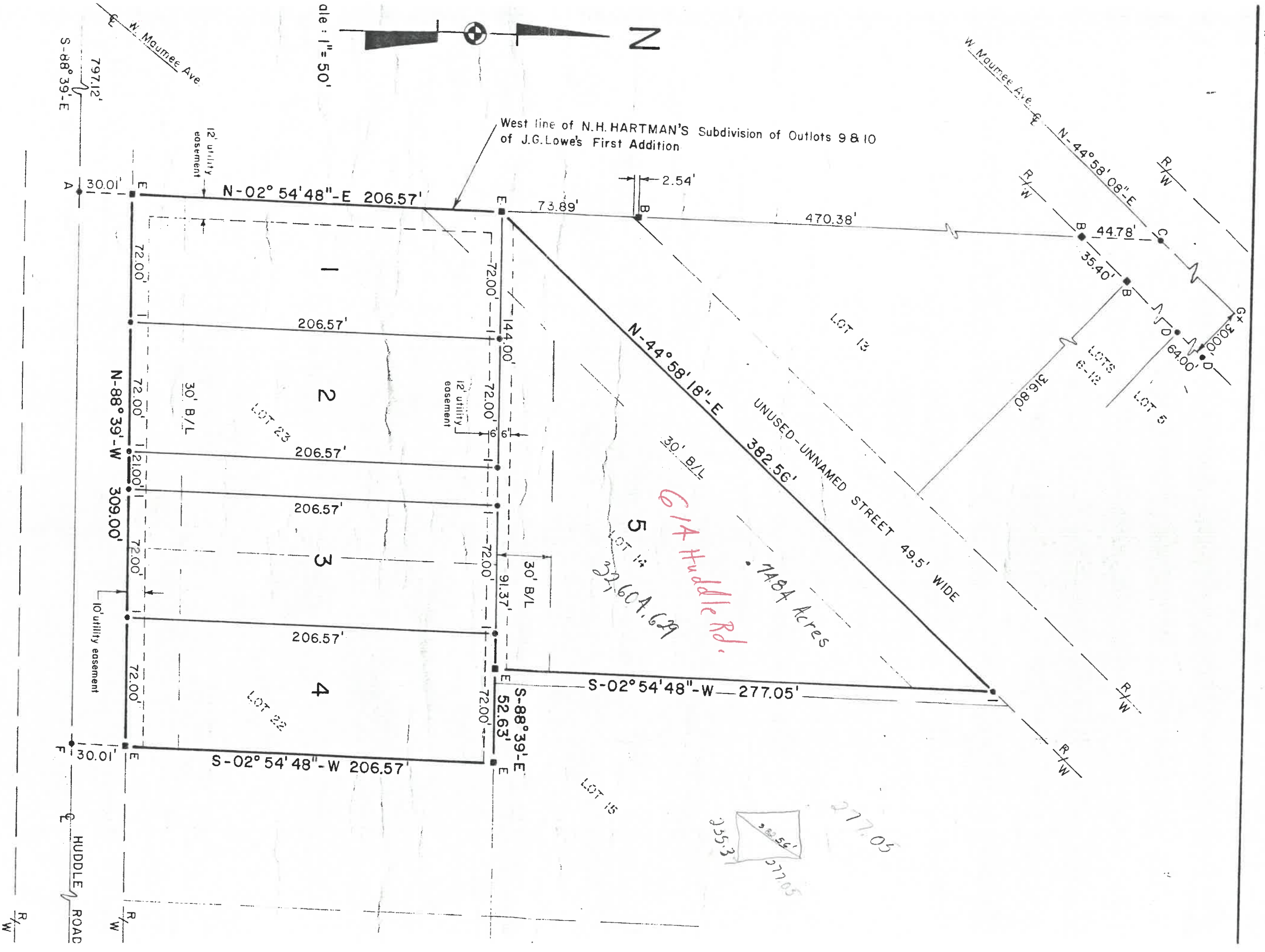
**LEGEND**

**REGISTERED SURVEYOR'S CERTIFICATE**

I, Randolph L. Germann, hereby certify that I am a Registered Surveyor, licensed in compliance with the laws of the State of Ohio, that this plat correctly represents a survey completed by me on March 26, 1980; that all monuments shown thereon actually exist, and that all other requirements specified herein have been met.

4-9-80

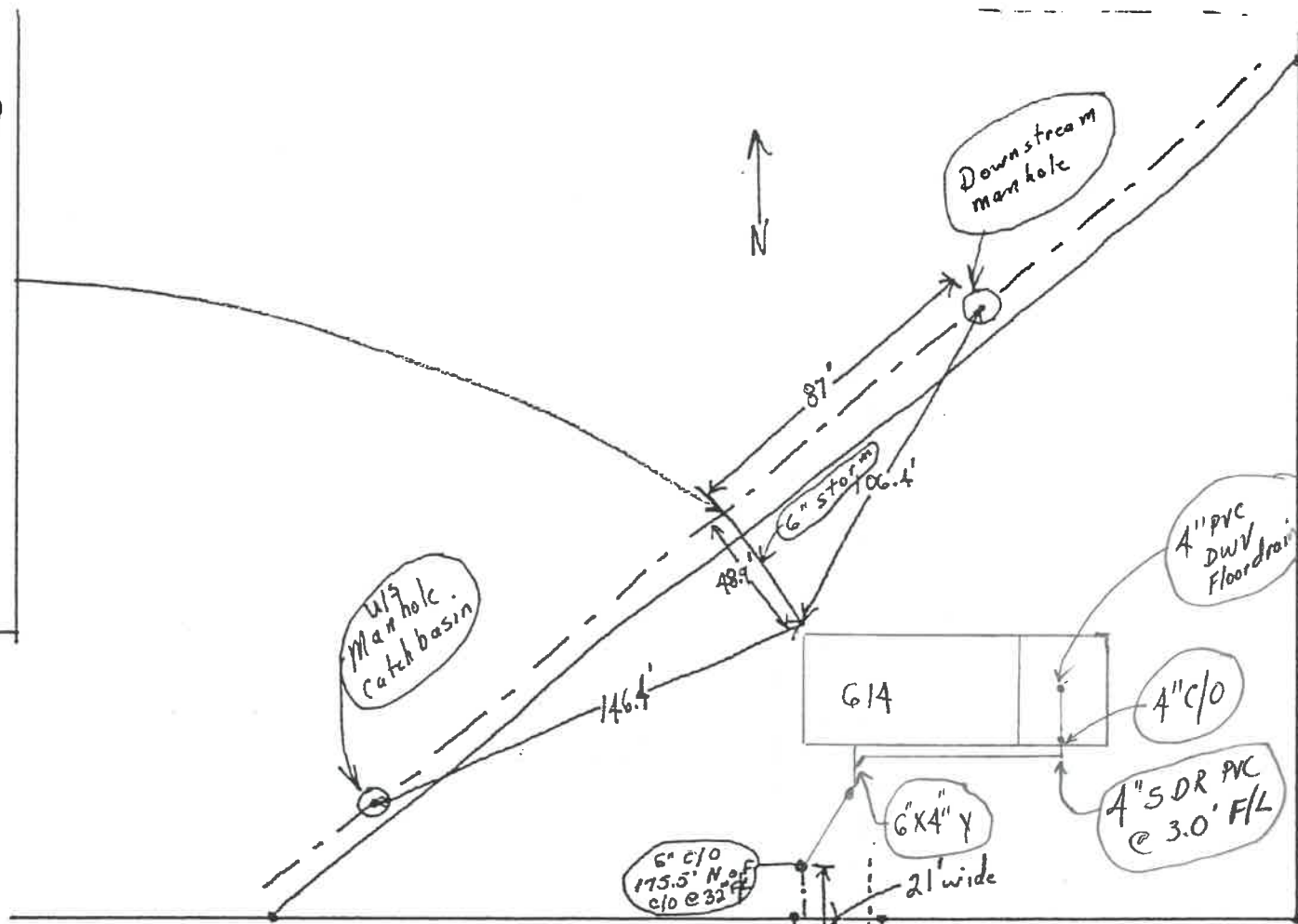
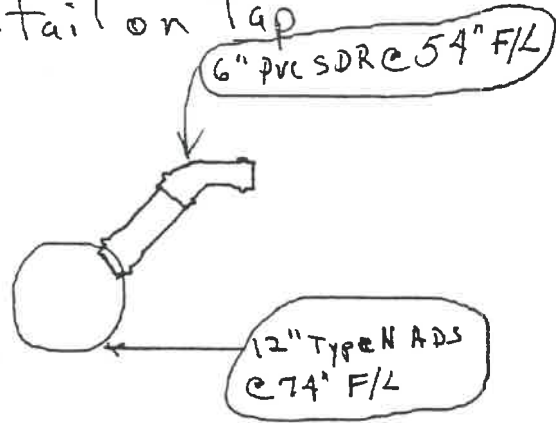
*Randolph L. Germann*







Detail on Tap

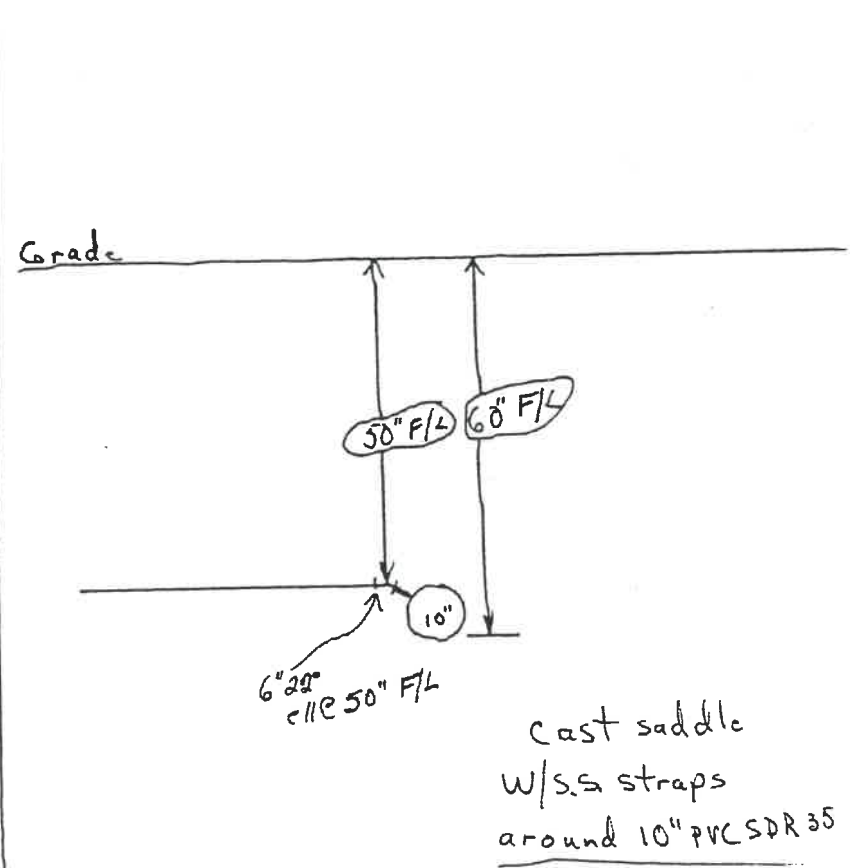


7-28-92  
 614 Huddle Rd.  
 James C Brown  
 Lot AA9 Menace Mobile Park  
 Jerry Glanz  
 Lake view Dr  
 Sewer + water

Legend

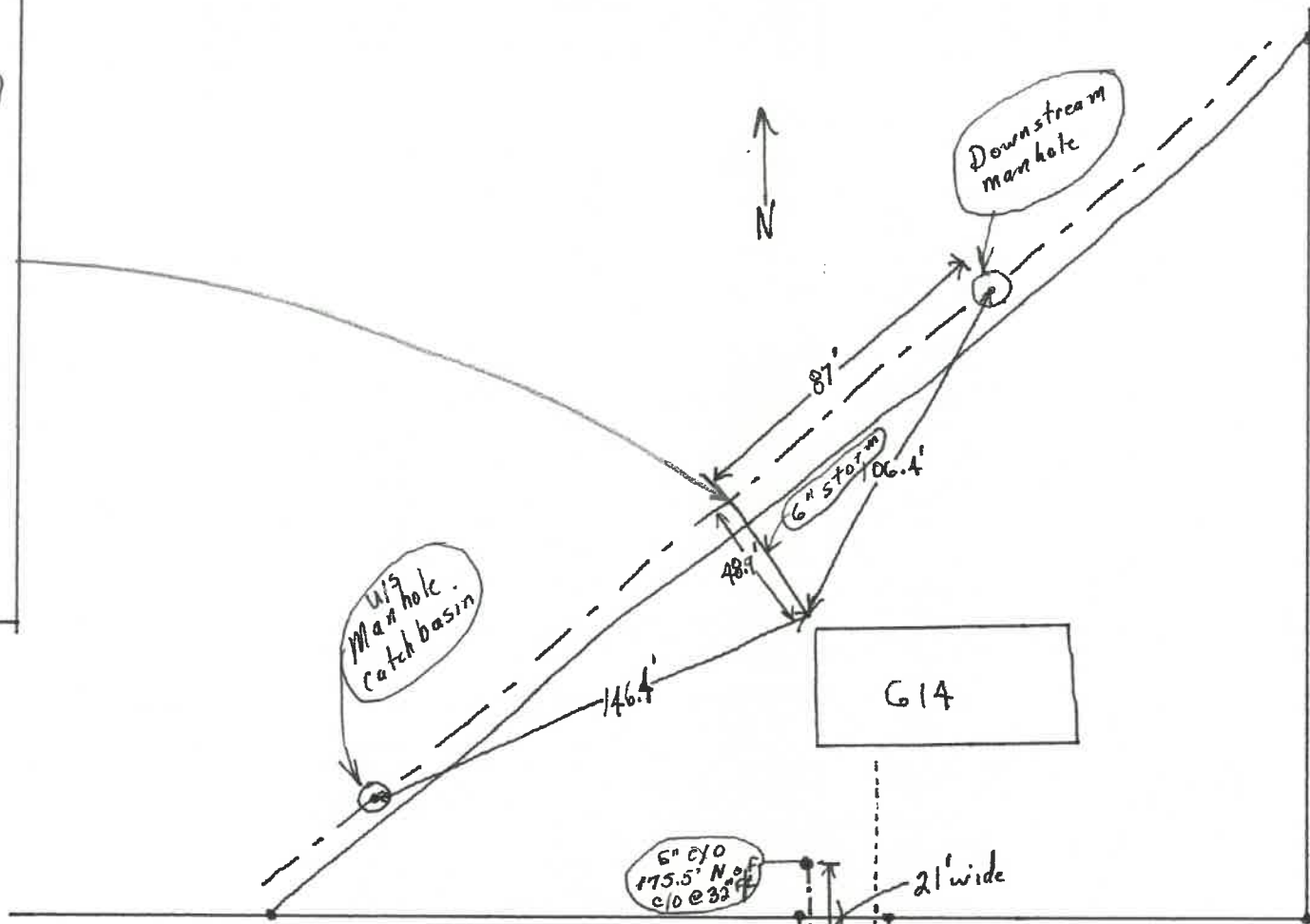
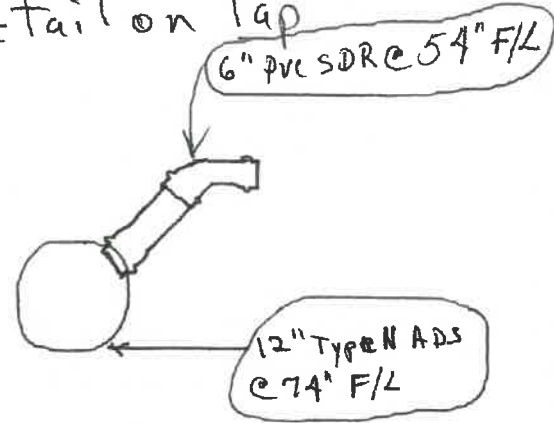
- Sanitary - - - - -
- storm - - - - -
- water - - - - -
- P/L - - - - -

Detail on saddle to main





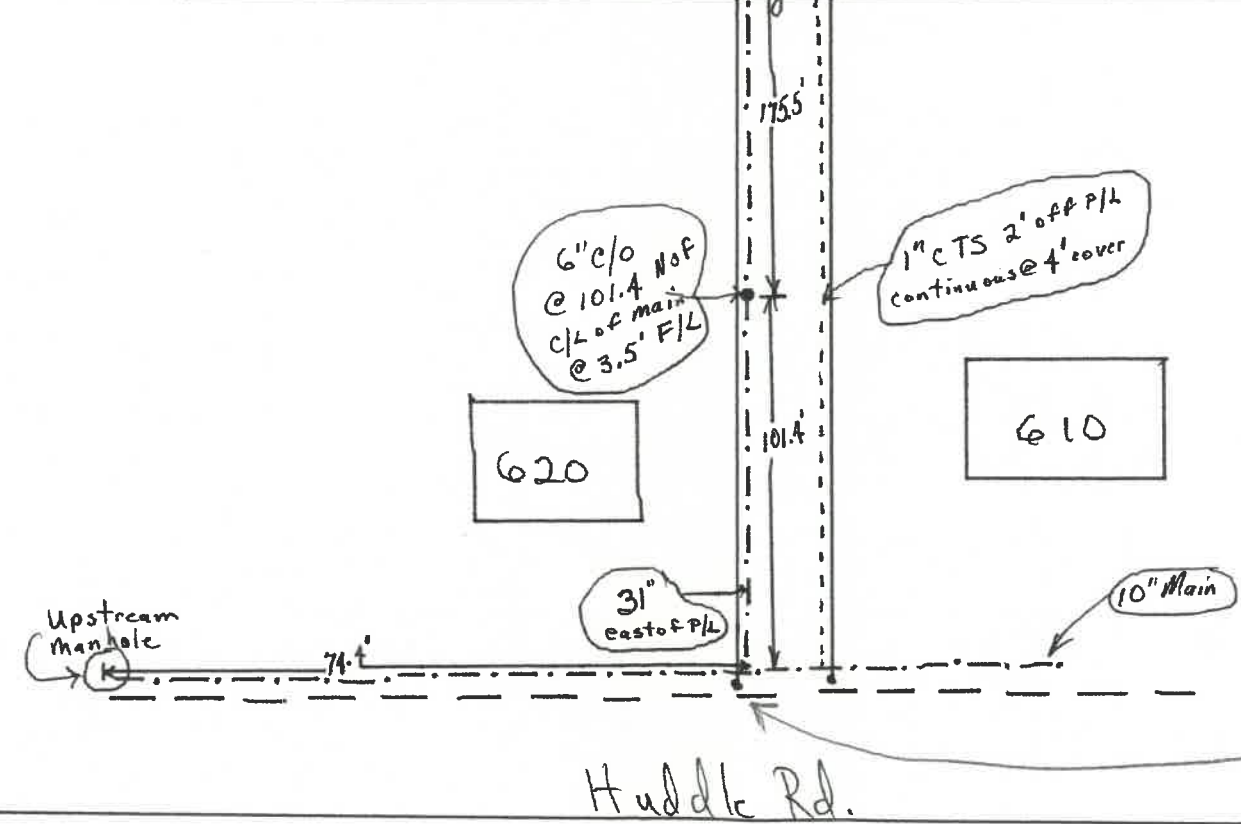
Detail on Tap



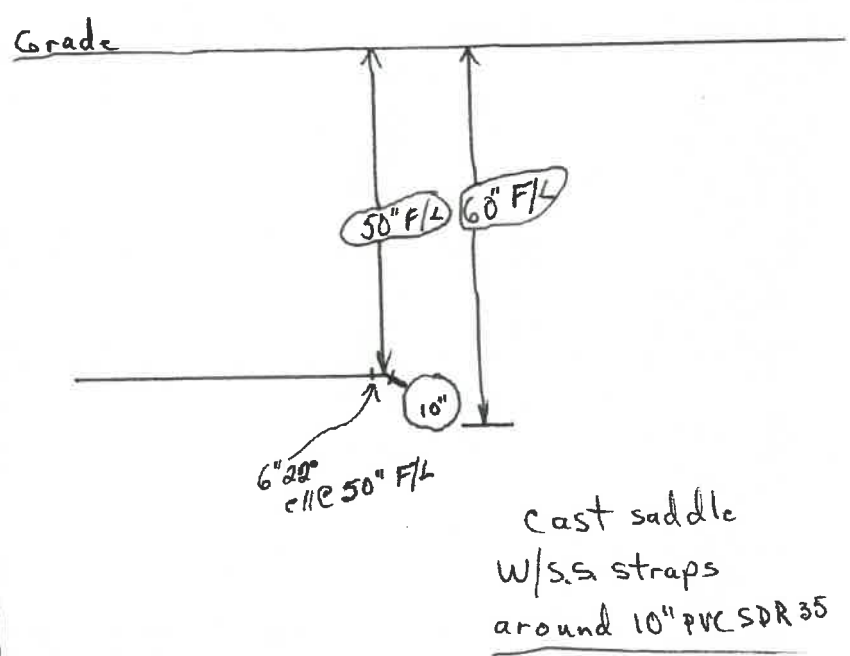
7-28-92  
 614 Huddle Rd.  
 James C Brown  
 Lot AA9 Manassas Mobile Park  
 Jerry Glanz  
 Lakeview Pr  
 Sewer & Water

Legend

- Sanitary - - - - -
- storm - - - - -
- Water - - - - -
- R/W - - - - -



Detail on saddle to main



Handwritten notes on the left side of the page, possibly describing the diagram or providing a legend.

