



PERMIT

City of Napoleon
255 W. Riverview
Napoleon, OH 43545

Division of Building and Zoning
PH (419) 592-4010
FAX (419) 599-8393

Permit No: 002465

Date Issued: 11-19-04

Issued by: MBS

Job Location: 1440 SEDWARD AVE

Est. Cost: 18000.00

Lot #:

Subdivision Name: TWIN OAKS 4TH

Owner: BECKS CONSTRUCTION

Agent:

Address:

Address: BU

CSZ: 1440 SEDWARD AVE

CSZ: 1800000 002465

Phone: 13473

Phone:

Use Type - Residential:

Other:

ZONING INFORMATION

Dist:	Lot Dim:	Area:	Fyrd:	Syrd:	Ryrd:
Max HT:	# Pkg Spaces:			# Loading SP:	Max Lot Cov:

BOARD OF ZONING APPEALS:

Work Type - New:	Replmnt:	Add'n: <input checked="" type="checkbox"/>	Alter:	Remodel:
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WORK INFORMATION

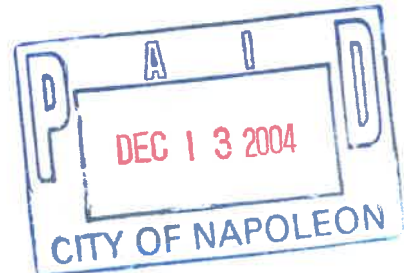
Size - Lgth: 10'	Width: 10'	Stories: 1	Living Area SF: 288
Garage Area SF:	Height:	Bldg Vol Demo Permit:	

WORK DESCRIPTION

BU Son Room Addition *OK mfb*
3200

FEE DESCRIPTION	PAID DATE	FEE AMOUNT DUE
BUILDING PERMIT		32.00
ELECTRICAL PERMIT		18.00

Total Fees Due 50.00



Date

Applicant Signature

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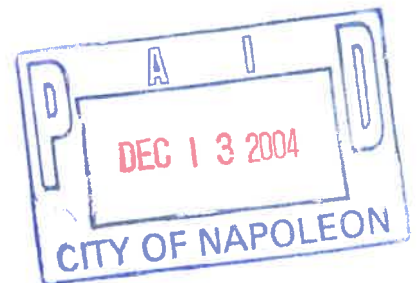
Size - Lgth: 18'	Width: 16'	Stories: 1	Living Area SF: 288
Garage Area SF:	Height:	Bldg Vol Demo Permit:	

WORK DESCRIPTION

BU Sun Room Addition
3200

FEE DESCRIPTION	PAID DATE	FEE AMOUNT DUE
BUILDING PERMIT		32.00
ELECTRICAL PERMIT		18.00

Total Fees Due 50.00



Date

Applicant Signature

NEW HOME AND ADDITION PERMIT APPLICATION

THIS APPLICATION IS FOR RESIDENTIAL CONSTRUCTION INCLUDING BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, DEMOLITION, REMODELING.

DATE 11-10-04 JOB LOCATION 1440 SEDWARD AVE
LOT # 70 SUBDIVISION NAME Twin OAK 4
OWNER Becks construction CO PHONE 419-592-8307
OWNER ADDRESS P.O Box 583 CITY Napoleon ZIP 43545
CONTRACTOR - Becks construction PHONE 419-592-8307
CONTRACTOR ADDRESS same CITY same ZIP ---
CONTRACTOR FAX # 419-592-0369 CELL PHONE (Opt.) 419-770-0002
DESCRIPTION OF WORK TO BE PERFORMED: 18'x16' SUN ROOM ADDITION
ESTIMATED COST OF WORK TO BE PERFORMED: Build \$3200 elec. 1500 18,000

WORK INFORMATION

BUILDING: Basement Floor Area N/A Sq. Ft. 1st Story Living Area 288 Sq. Ft.
2nd Floor Living Area N/A Sq. Ft. Garage Floor Area N/A Sq. Ft.

BUILDING SIZE: Length 16 Width 18 Stories 1 Height 16 DEMO VOL ---

Masonry Contractor DAVE MEYER Phone --- Fax ---
Address --- City --- St --- Zip ---

Electrical Contractor Becks construction Phone 419-592-8307 Fax 419-592-0369
Address --- City --- St --- Zip ---

Plumbing Contractor DAVE CLAPP Phone 533-8881 Fax ---
Address --- City --- St --- Zip ---

Heating Contractor Jim westfall Phone 533-3536 Fax ---
Address --- City --- St --- Zip ---

Insulation Contractor Becks const. co Phone same Fax ---
Address --- City --- St --- Zip ---

Other Contractor attach information.

ZONING INFORMATION (to be completed by City): District --- Lot Dimensions ---
Lot Area --- FRSB --- SYSB --- RYSB --- Max Ht --- ft Max Cov --- %

I by signing below agree to comply with all applicable City of Napoleon Codes & Ordinances while performing the work herein described. I understand that all work for which a permit is issued is required to be approved by the building inspector of the City of Napoleon.

Applicant Signature Gregory Beck Date 11-12-04

New Home Permit

Electrical:

Size of Service 200 Underground X Overhead _____ Number of New Circuits _____

Plumbing:

Water Tap Required – () Yes () No Size _____ Type of Pipe _____ Water Dist. Pipe _____

Sanitary Sewer Tap Required - () Yes () No Size _____ Type of Pipe _____ Dr. Waste VT. Pipe _____

Main Building Drain Size _____ Main Vent Pipe Size _____

List Number of Plumbing Fixtures Below

Water Closets _____ Bathtubs _____ Showers _____ Lavatories _____ Kitchen Sinks _____ Disposal _____

Clothes Washer _____ Floor Drains _____ Dishwasher _____ Laundry Sink _____ Other _____

Total _____

Mechanical:

Heating Systems

() Forced Air () Gravity () Hot Water () Steam () Unit Heaters () Radiant () Baseboard

Type of Fuel

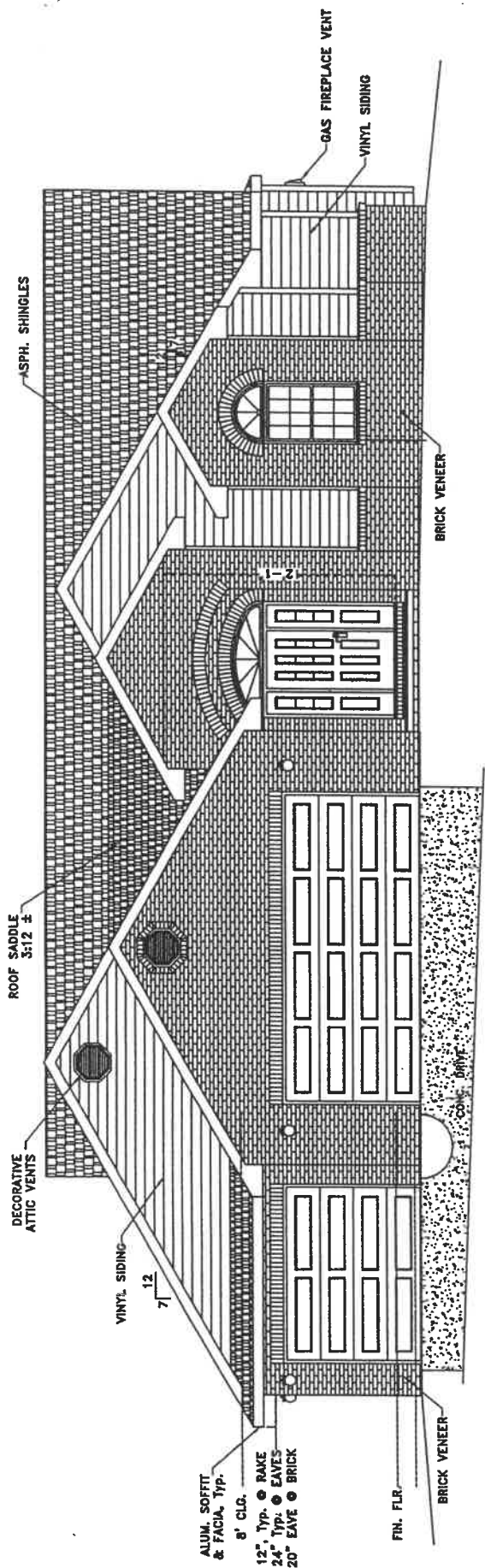
() Electric () Natural Gas () Propane () Wood () Coal () Solar () Geothermal Other _____

Number of Heat Zones _____ Hot Water - () One (1) Pipe () Two (2) Pipes () Series Loop

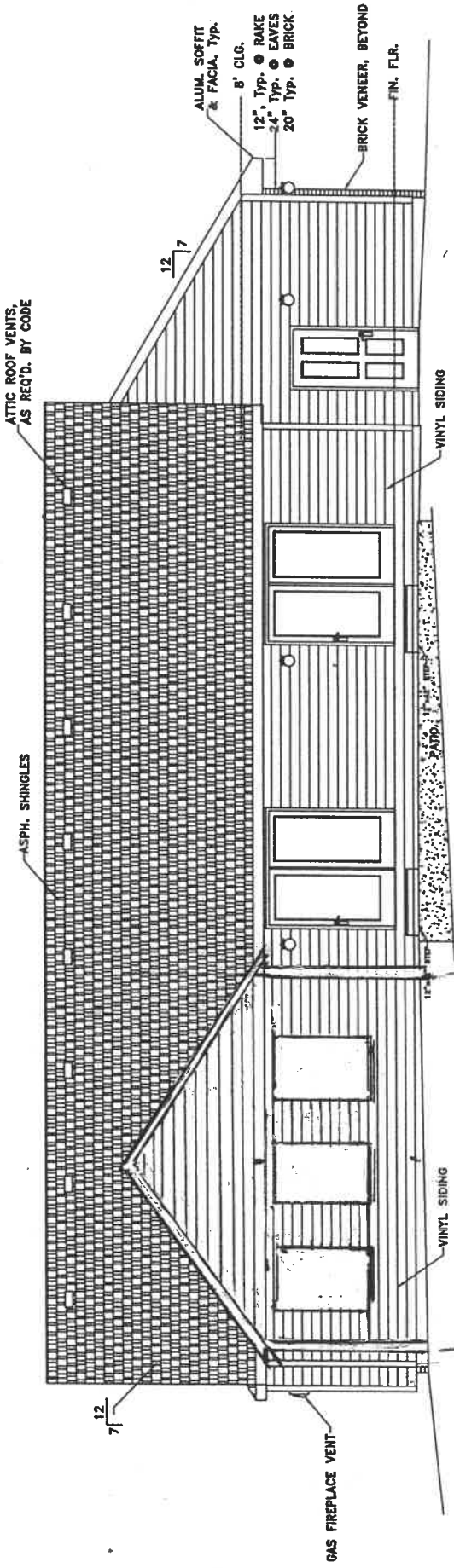
Electric Heat – Number of Circuits _____ Number of Furnaces _____ Number of Hot Air Runs _____

Number of Hot Water Radiators _____ Total Heat Loss _____ Rated Capacity of Furnace/Boiler _____

Location of Equipment – () Crawl Space () Floor Level () Attic () Suspended () Roof () Outside



FRONT ELEVATION

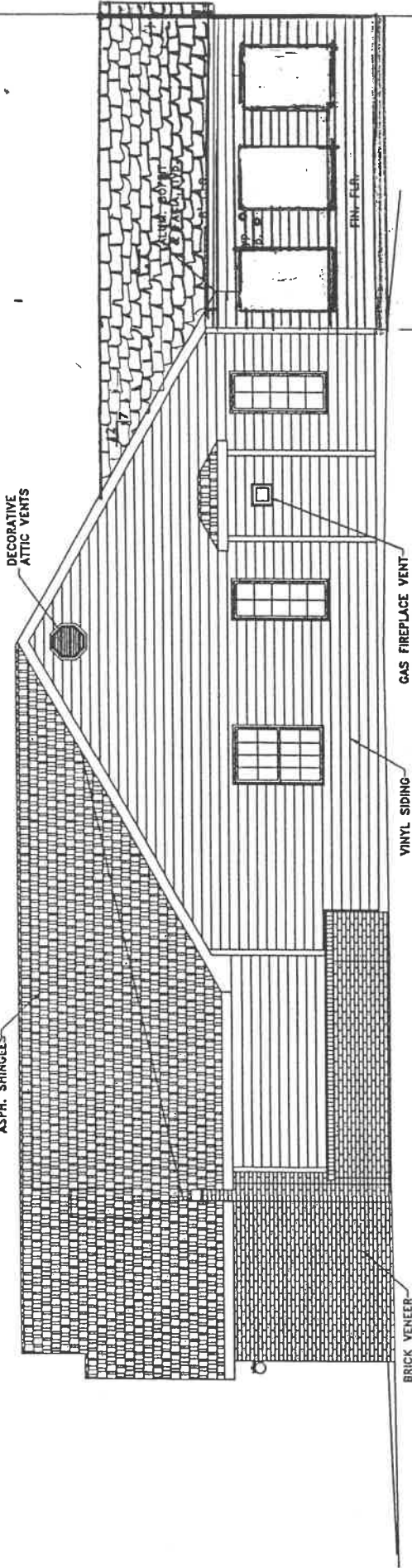


REAR ELEVATION

	BECK CONSTRUCTION CO COUNTY ROAD # 419/702-4307 MAPLETON, OHIO	
	DIRECTOR: GARY BECK/CUSTOM FILE NAME: SEDWARD	DRAWN BY: A.D.S. REVISED:
SEDWARD FRONT & REAR ELEVATIONS	SCALE: 1/8"=1'-0" DATE: JUNE 2004 DRAWING NUMBER: 1 of 5	

DECORATIVE
ATTIC VENTS

ASPH. SHINGLES



RIGHT SIDE ELEVATION

16' ADDITION

VINYL SIDING

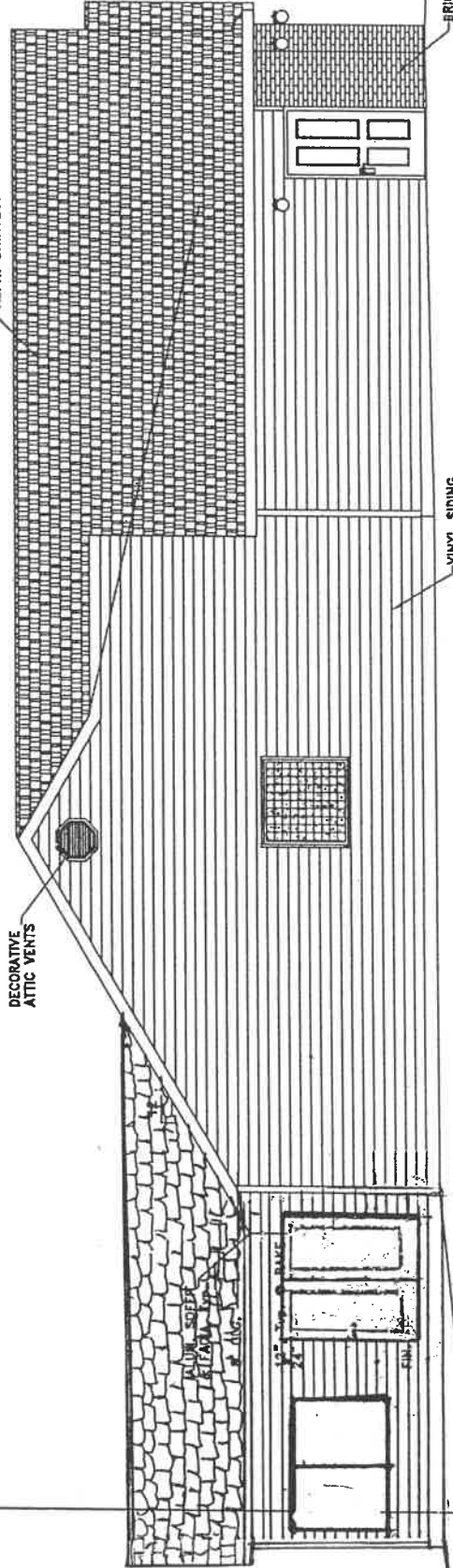
BRICK VENEER

GAS FIREPLACE VENT

FIN. F.L.R.

ASPH. SHINGLES

DECORATIVE
ATTIC VENTS



LEFT SIDE ELEVATION

16' ADDITION

VINYL SIDING

BRICK VENEER

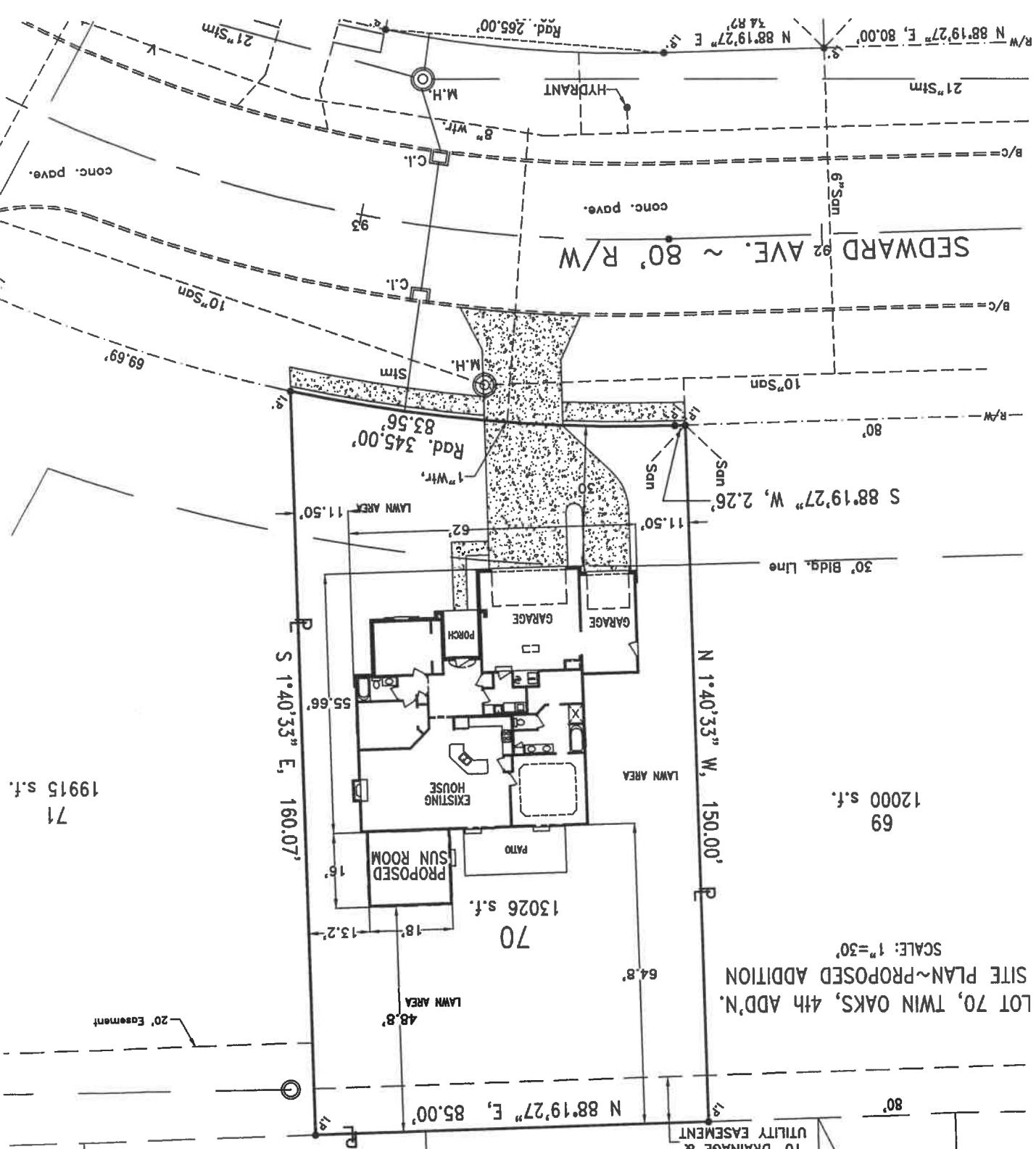
FIN. F.L.R.

BECK CONSTRUCTION CO
 COUNTY ROAD # 419 767-5307 MAPLETON, OHIO
 DIRECTOR: C/VIN BECK/CUSTOM REVISIONS
 FILE NAME: SEDWARD
 DRAWN BY: J.D.L.
 SCALE: 1/4" = 1'-0"
 DATE: JUNE, 2004
 DRAWING NUMBER
 2 OF 5

SEDWARD
 SIDE VIEW ELEVATIONS

RIVERA HEIGHTS 1st & 2nd ADDITION

LOT 70, TWIN OAKS, 4th ADD'N.
 SITE PLAN~PROPOSED ADDITION
 SCALE: 1"=30'



10' DRAINAGE & UTILITY EASEMENT

20' Easement

71
 19915 s.f.

69
 12000 s.f.

70
 13026 s.f.

49' - 4"

FRAMING NOTES:
 INTERIOR DIMENSIONS ARE TAKEN TO THE STUD LINE, EXTERIOR DIMENSIONS ARE TAKEN TO THE OUTSIDE FACE OF THE FOUNDATION OR SHEATHING. ROOM SIZES SHOWN ARE APPROXIMATE FINISHED ROOM SIZES ADD 1" TO ROOM SIZES FOR FRAMING DIMENSIONS. ALL DIMENSIONAL FRAMING LUMBER SHALL BE EQUAL TO, OR BETTER THAN, #2 SPRUCE-PINE-FIR. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE TREATED LUMBER MEETING THE REQUIREMENTS OF SECTION 2303.1.8 O.B.B.C.
 CONTRACTOR SHALL CONFIRM THE SIZE AND SPACING OF ALL FRAMING AND STRUCTURAL MEMBERS TO MEET LOCAL CODES WITH THE LOCAL CODE OFFICIAL. REQUIRED STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLAN SHALL BE SIZED BY THE CONTRACTOR TO MEET LOCAL CONDITIONS. STRUCTURAL FRAMING MEMBERS WHICH ARE SIZED HEREON ARE SUGGESTIVE ONLY, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL SIZING OF ALL STRUCTURAL MEMBERS REQUIRED AND SHALL CONFIRM THEIR SUFFICIENCY WITH LOCAL CODE OFFICIALS AS REQUIRED. DOUBLE STUDS SUPPORTING ALL HEADERS, BEAMS AND GIRDERS.
 ALL WALLS ARE 8'-0" NOMINAL HEIGHT, EXCEPT AS NOTED OR IMPLIED.
 HIP OR VALLEY RAFTERS OVER 24'-0" IN LENGTH SHALL BE (LVL) LAMINATED VENEER LUMBER. MINIMUM LOAD BEARING WALL HEADERS SHALL BE AS FOLLOWS:

- EXTERIOR - 2 - 2"x8", 0' to 3' SPAN
- 2 - 2"x10", 3' to 5' SPAN
- 2 - 2"x12", 5' to 7' SPAN
- OVER 7' AS NOTED

FLOOR PLAN

w/ELECTRICAL LAYOUT
 SCALE: 1/4" = 1'-0"

EXISTING PATIO
 10'0" x 22'0"

EXIST. GFI. OUTLET

12"x42" STEP

6'x6'8" Slider

EXISTING DINING ROOM
 11'4" x 13'0"

11'-5 1/2"

11'-5 1/2"

11'-7 1/2"

6'x6'8" Slider
 or Patio Door

12"x42" STEP

RELOCATED 2-3656 D.H.

RELOCATED

REMOVE EXISTING WINDOW TO EXTEND ROUGH OPENING TO FLOOR AND FINISH OPENING WITH WOOD TRIM PER OWNER

PROPOSED SUN ROOM
 15'7" x 17'3"

2" x 8" Clg. Jsts. @ 16" o/c

18' ADDITION

5' ADDITION

4'

3656 D.H.

3656 D.H.

3656 D.H.

3'

5'

5'

5'

16' ADDITION

3656 D.H.

3656 D.H.

3656 D.H.

2460 CASE.

Fireplace / Hearth

EXISTING GREAT ROOM
 17'2" x 19'2"

17'-3"

6'-8"

1'-8"

EXISTING PROPOSED

49'-4"

18' ADDITION

1'-4"

TYP., 8" CONC. BLOCK WALL ON 16"x8" CONC. FTG.

FOUNDATION PLAN

SCALE: 1/4"=1'-0"

EXISTING PROPOSED

2'-8" MAX.

CRAWL SPACE VENT-16"x8" SHOWN THUS

PROPOSED SUN ROOM

VISQUEEN VAPOR BARRIER OVER STONE

BEAR JOIST ON EXIST. PLATE

9.5" Flr. "I" Jsts. @ 16" o/c

MIN. 32"x32" CRAWL SPACE ACCESS OP'NG.

EXISTING CRAWL SPACE VENT-16"x8"

8'-4"

2'-8" MAX.

16'

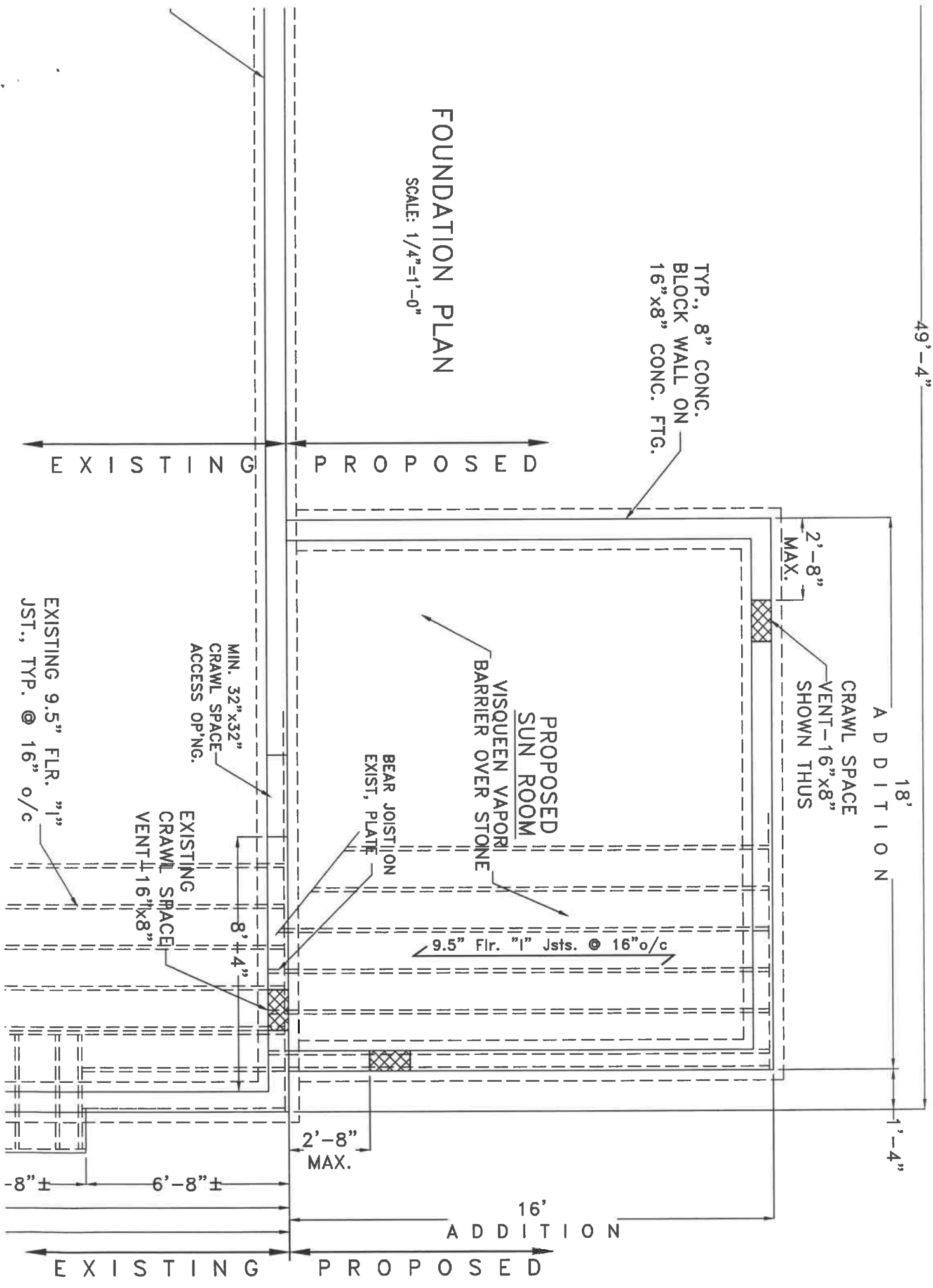
ADDITION

EXISTING PROPOSED

EXISTING 9.5" FLR. "I" JST., TYP. @ 16" o/c

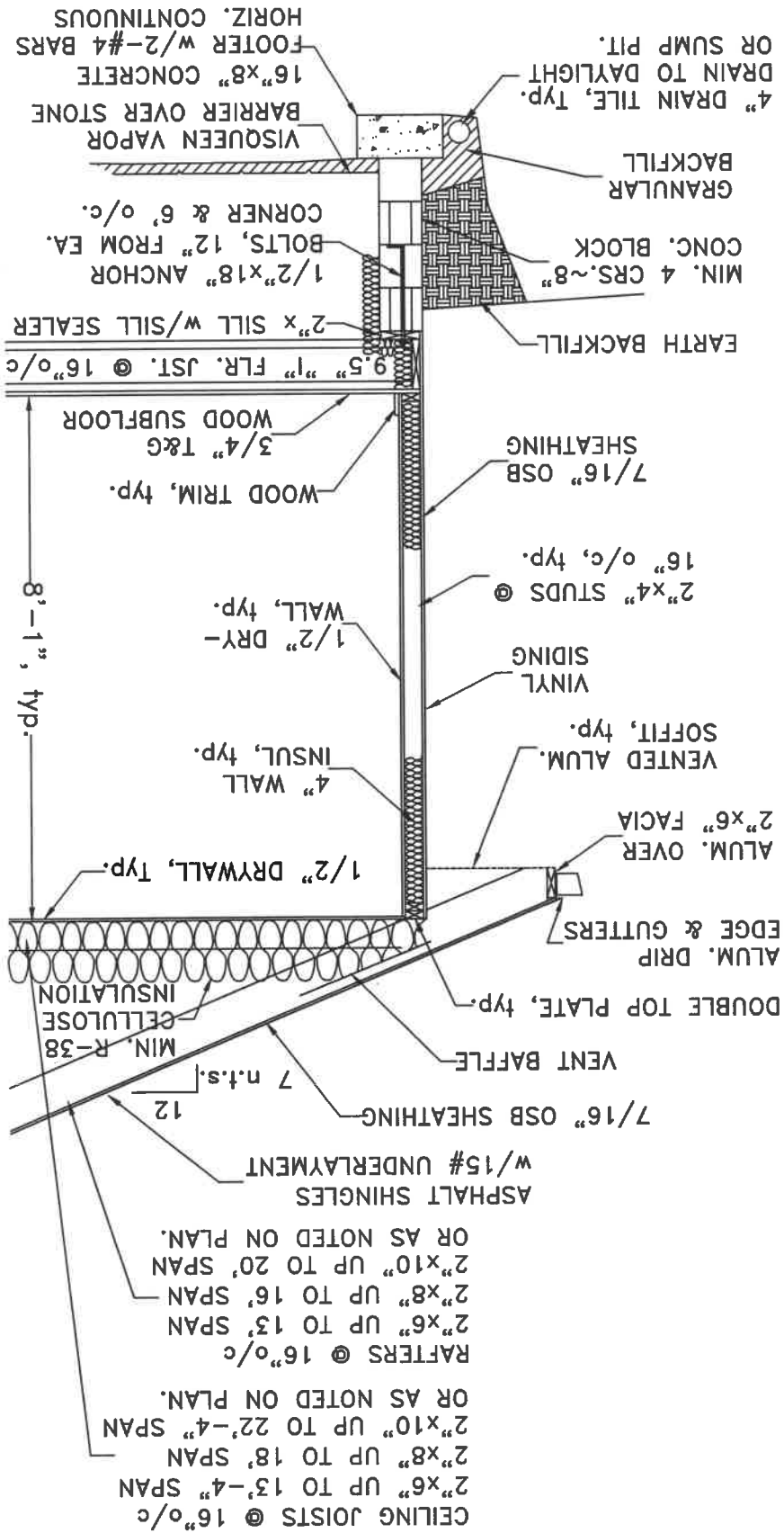
8"±

6'-8"±



3/8" = 1'-0"

TYPICAL CROSS SECTION @ CRAWL SPACE



City of Napoleon Inspection Form

Permit #002465

Date Issued: 11-19-2004

Job Location: 1440 SEDWARD AVE

Owner: BECKS CONSTRUCTION

Owner Phone: 13473

Contractor:

Contractor Phone:

Work Description: BU *SUN ROOM ADDITION*

Plumbing: UNDGR _____ RGHIN _____ FINAL _____

 SEWER INSP _____

Mechanical: UNDGR _____ RGHIN _____ FINAL _____

 FURNACE REPLAC _____ AIR COND _____

Electrical: UNDGR _____ RGHIN *12-22-04* FINAL _____

 SEVR UPGR _____

Building: Site *12-02-04* FTG *12-02-04* FNDDT _____

 STRU *12-22-04* ROOF *12-22-04* EXT _____

 VENT *12-22-04* ACCES _____ EGRS _____

 SMKDT _____ FINAL _____

 ISSUE TEMP OCCUP _____ ISSUE OCCUP _____

STGE Shed: SITE _____ FINAL _____

Sign: FTG _____ FINAL _____

Fence: SITE _____ FINAL _____

DRIVEWAY: _____ SIDEWALK: _____

MISC INSP: _____

NOTES:

INSPECTORS INITIALS: _____

