

# PERMIT

## CITY OF NAPOLEON - BUILDING DEPARTMENT

255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

Permit No. 01359 Issued 4-28-87  
date

Job Location 521 E. Washington  
address

Lot 14 RK Scotts 1st add.  
sub-div or legal discript

Issued By Eldon Huber  
building official

Owner Beck's Construction 592-8307  
name tel.

Address 11622 Co. Rd. M

Agent Construction Basics 599-9306  
builder-eng.-etc. tel.

Address P.O. Box 646

Description of Use Residence

Residential 1  
no. dwelling units

Commercial \_\_\_\_\_ Industrial \_\_\_\_\_

Demolition \_\_\_\_\_  
New \_\_\_\_\_ Add'n \_\_\_\_\_ Alter \_\_\_\_\_ Remodel \_\_\_\_\_

Mixed Occupancy \_\_\_\_\_

Change of Occupancy \_\_\_\_\_

Estimated Cost \$ 1,700.00

### ZONING INFORMATION N.A.

district	lot dimensions	area	front yd	side yds	rear yd
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr

### WORK INFORMATION:

Size: Length 34' Width 28' Stories 2 Ground Floor Area \_\_\_\_\_  
Height 22'+ Building Volume (for demo. permit) 9520 Cu. Ft. cu. ft.

Electrical: N.A. brief description \_\_\_\_\_

Plumbing: N.A. brief description \_\_\_\_\_

Mechanical: N.A. brief description \_\_\_\_\_

Sign: N.A. Dimensions \_\_\_\_\_ Sign Area \_\_\_\_\_  
type

Additional Information: Demolish existing fire damaged residence.

Date 7/30/87 Applicant Signature Robert J. Beck owner-agent

FEES	BASE	PLUS	TOTAL
BUILDING			
ELECTRICAL			
PLUMBING			
MECHANICAL			
<input checked="" type="checkbox"/> DEMOLITION	10.00		10.00
ZONING			
SIGN			
WATER TAP			
SEWER TAP			
TEMP. ELECT.			
ADDITIONAL PLAN REVIEW	Struct. _____ hrs		
	Elect. _____ hrs		
TOTAL FEES.....			10.00
LESS MIN. FEES PAID _____			
	date		
BALANCE DUE.....			

CITY OF NAPOLEON  
JUL 30 1987  
PAID



# INSPECTION RECORD

UNDERGROUND				ROUGH-IN						FINAL		
	Type	Date	By	Type	Date	By	Type	Date	By	Type	Date	By
<b>PLUMBING</b>	Building Drains			Drainage, Waste & Vent Piping			Indirect Waste			Drainage, Waste & Vent Piping		
	Water Piping									Backflow Prevention		
	Building Sewer			Water Piping			Condensate Lines			Water Heater		
	Sewer Connection									FINAL APPROVAL		
<b>MECHANICAL</b>	Refrigerant Piping			Refrigerant Piping			Chimney(s)			Grease Exhaust System		
				Duct Furnace(s)			Fire Dampers			Air Cond. Unit(s)		
	Ducts/Plenums			Ducts/Plenums			<input type="checkbox"/> Radiant Htr(s) <input type="checkbox"/> Unit Htr(s)			Refrigeration Equipment		
				Duct Insulation			Pool Heater			Furnace(s)		
				Combustion Products Vents			Ventilation <input type="checkbox"/> Supply <input type="checkbox"/> Exhst.			FINAL APPROVAL		
<b>ELECTRICAL</b>	Conduits & or Cable			Conduits/ Cable			<input type="checkbox"/> Range <input type="checkbox"/> Dryer			Temp Service Temp Lighting		
	Grounding & or Bonding			Rough Wiring			<input type="checkbox"/> Generator(s) <input type="checkbox"/> Motors			Fixtures Lampholders		
	Floor Ducts Raceways			Service Panel Switchboard			<input type="checkbox"/> Water Htr <input type="checkbox"/> Welder			Signs		
	Service Conduit			Busways Ducts			<input type="checkbox"/> Heaters <input type="checkbox"/> Heat Cable			Electric Mtr. Clearance		
	Temporary Power Pole			Subpanels			<input type="checkbox"/> Duct Htr(s) <input type="checkbox"/> Furnace(s)			FINAL APPROVAL		
<b>BUILDING</b>	Location, Set-backs, Esmt(s)			Exterior Wall Construction			Roof Covering Roof Drainage			Smoke Detector		
	Excavation						Exterior Lath			Demolition (sewer cap)		
	Footings & Reinforcing						<input type="checkbox"/> Interior Lath <input type="checkbox"/> Wallboard					
	Floor Slab			Interior Wall Construction			Fire Wall(s)			Building or Structure		
	Foundation Walls			Columns & Supports			Fireplace Chimney					
	Sub-soil Drain			Crawl Space <input type="checkbox"/> Vent <input type="checkbox"/> Access			Attic <input type="checkbox"/> Vent <input type="checkbox"/> Access					
	Piles			Floor System(s)						FINAL APPROVAL BLDG. DEPT.	11/2	EH
				Roof System			Special Insp Reports Rec'd			Certificate of Occupancy Issued		
<b>ADDITIONAL</b>	<b>INSPECTIONS, CORRECTIONS, ETC.</b>						<b>INSPECTIONS, CORRECTIONS, ETC.</b>					
	TEMPORARY SEWER PLUG WILL NEED TO BE REDONE IF NO HOOR IS CONSTRUCTED BY OCT. 1-1987						6/87 <i>EH</i>					

# PERMIT

CITY OF NAPOLEON - BUILDING DEPARTMENT

255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

01359

Permit No.                      Issued 4-28-87  
date

Job Location 521 E. WASHINGTON  
address

Lot 14 RKSCOTT 1ST ADD  
sub-div or legal discript

Issued By 5  
building official

Owner BECK'S CONSTRUCTION  
name tel.

Address 11622 RDM

Agent CONSTRUCTION BASICK  
builder-eng -etc. tel.

Address P.O. BOX 646

Description of Use RESIDENCE

Residential 1  
no. dwelling units

Commercial DEMOLITION Industrial                     

New                      Add'n.                      Alter                      Remodel                     

Mixed Occupancy                     

Change of Occupancy                     

Estimated Cost \$ 1700.00

## FEES

BASE

PLUS

TOTAL

BUILDING

ELECTRICAL

PLUMBING

MECHANICAL

DEMOLITION 10.00 1.00 10.00

ZONING

SIGN

WATER TAP

SEWER TAP

TEMP. ELECT.

ADDITIONAL

PLAN

REVIEW

Struct.                      hrs                     

Elect.                      hrs                     

TOTAL FEES..... 10.00

LESS MIN. FEES PAID                      date                     

BALANCE DUE.....                     

## ZONING INFORMATION N.A.

district	lot dimensions	area	front yd	side yds	rear yd
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr

## WORK INFORMATION:

Size: Length 34' Width 28' Stories 2 Ground Floor Area                     

Height 22' ± Building Volume (for demo. permit) 9520 CO, FT, cu. ft.

Electrical: N.A. brief description                     

Plumbing: N.A. brief description                     

Mechanical: N.A. brief description                     

Sign: N.A. Dimensions                      Sign Area                     

Additional Information: DEMOLISH EXISTING ~~RE~~ FIRE DAMAGED  
RESIDENCE

Date                      Applicant Signature                      owner-agent





CITY OF NAPOLEON  
BUILDING INSPECTION DEPARTMENT  
APPLICATION FOR BUILDING PERMIT  
(Please print or type)

The undersigned hereby makes application for construction, installation, or alteration work as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Building Codes.

Location of project 521 E. WASHINGTON Cost of project \$1700  
Owner's Name BECK'S CONS. Address 11622 RLM  
Contractor Construction Basics Telephone No. \_\_\_\_\_  
Address PO Box 646

Lot Information: (Not required for siding job)

Lot No. \_\_\_\_\_ Subdivision River Downs  
Zoning District \_\_\_\_\_ Lot Size 66 ft. X 200 ft. Area \_\_\_\_\_ sq. ft.  
Setbacks: Front \_\_\_\_\_ Right Side \_\_\_\_\_ Left Side \_\_\_\_\_ Rear \_\_\_\_\_

Work Information:

Residential ☒ Commercial \_\_\_\_\_ Industrial \_\_\_\_\_  
New Construction \_\_\_\_\_ Addition \_\_\_\_\_ Remodel \_\_\_\_\_  
Accessory Building \_\_\_\_\_ Siding \_\_\_\_\_

Brief Description of Work: ----- DEMOLISH EXISTING  
HOUSE

Size: Length \_\_\_\_\_ Width \_\_\_\_\_ No. of Stories \_\_\_\_\_  
Area: 1st Floor \_\_\_\_\_ sq. ft. Basement \_\_\_\_\_ sq. ft.  
2nd Floor \_\_\_\_\_ sq. ft. Accessory Bldg. \_\_\_\_\_ sq. ft.  
3rd Floor \_\_\_\_\_ sq. ft. Other \_\_\_\_\_ sq. ft.

Additional Information: 34 X 22 9,520 Cu FT

APPLICATION FOR PERMIT SHALL BE ACCOMPANIED BY TWO COMPLETE SETS OF PLANS INCLUDING: ELEVATIONS, FLOOR PLANS, CROSS SECTIONS AND PLOT PLAN. IF ADDITION OR REMODELING, SHOW ALL EXISTING STRUCTURES AND THEIR SIZE AND LOCATION. ALL PLANS SHALL BE DRAWN TO SCALE.

Date 4/23/87 Applicant's Signature Robert S. Beck

PERMIT NO. \_\_\_\_\_

PERMIT FEE \$ \_\_\_\_\_





## *Beck's Construction Company*

11-622 Rd. M - Rt. 3 - NAPOLEON, OHIO 43545 - (419) 592-8307

April 28, 1987

Napoleon, OH 43545

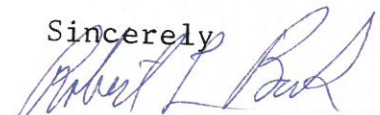
Hi Neighbor,

We have purchased the property at 521 E. Washington St. from Tom Hardy, where the fire was.

We plan on tearing it down in the near future and building a new one story ranch home, which we feel will be a compliment to your neighborhood.

Thank You

Sincerely



Robert L. Beck







# HENRY COUNTY DEPARTMENT OF HEALTH

COURTHOUSE  
NAPOLEON, OHIO 43545  
Phone: 599-5545

April 29, 1987

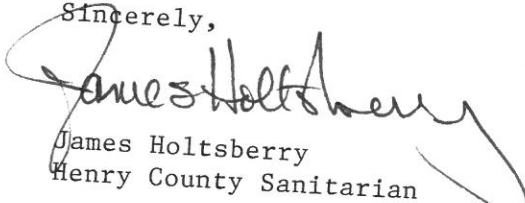
City of Napoleon  
Napoleon,  
Ohio 43545

To Whom It May Concern:

I have inspected the property owned by Bob Beck at 521 East Washington,  
Napoleon, Ohio on this date.

I found no signs of rodent or insect infestation.

Sincerely,

  
James Holtsberry  
Henry County Sanitarian

JH:slg





# Certificate of Insurance

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER.  
THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES LISTED BELOW.

## NAME AND ADDRESS OF AGENCY

PICTON-CAVANAUGH, INC.  
P. O. BOX 2167  
136 N. SUMMIT STREET  
TOLEDO, OHIO  
(419) 241-8211

43603

## COMPANIES AFFORDING COVERAGES

COMPANY LETTER **A** USF&GCOMPANY LETTER **B**COMPANY LETTER **C**COMPANY LETTER **D**COMPANY LETTER **E**

## NAME AND ADDRESS OF INSURED

CONSTRUCTION BASICS, INC  
452 EAST RIVERVIEW  
POST OFFICE BOX 646  
NAPOLEON, OHIO

43545

This is to certify that policies of insurance listed below have been issued to the insured named above and are in force at this time. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies.

COMPANY LETTER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EXPIRATION DATE	Limits of Liability in Thousands (000)		
					EACH OCCURRENCE	AGGREGATE
A	<b>GENERAL LIABILITY</b>	MP056634644	02/15/88	BODILY INJURY	\$ 500	\$ 500
	PROPERTY DAMAGE			\$ 500	\$ 500	
	BODILY INJURY AND PROPERTY DAMAGE COMBINED			\$	\$	
	PERSONAL INJURY			\$	\$	
	<b>AUTOMOBILE LIABILITY</b>					
	<input type="checkbox"/> COMPREHENSIVE FORM <input type="checkbox"/> OWNED <input type="checkbox"/> HIRED <input type="checkbox"/> NON-OWNED					
A	<b>EXCESS LIABILITY</b>	CEP084649510	02/15/88	BODILY INJURY (EACH PERSON)	\$	\$ 2000
	BODILY INJURY (EACH ACCIDENT)			\$		
				PROPERTY DAMAGE	\$	
				BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	
				BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$ 2000	\$ 2000
	<b>WORKERS' COMPENSATION and EMPLOYERS' LIABILITY</b>			STATUTORY		
	<b>OTHER</b>				\$	(EACH ACCIDENT)

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES

**Cancellation:** Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail 10 days written notice to the below named certificate holder, but failure to mail such notice shall impose no obligation or liability of any kind upon the company.

NAME AND ADDRESS OF CERTIFICATE HOLDER:

Beck's Construction Company  
Co Rd. M  
Napoleon, Ohio 43545

DATE ISSUED: 04/09/87

*Ronald L. Murray*  
AUTHORIZED REPRESENTATIVE





**CITY OF NAPOLEON**  
255 W. Riverview  
NAPOLEON, OHIO 43545

message

reply

to BECK'S CONSTRUCTION

subject PROPOSED DEMOLITION WORK

@ 521 E. WASHINGTON

ENCLOSURE FIND AN APPLICATION FOR  
A DEMOLITION PERMIT ALONG WITH  
A COPY OF THE APPLICABLE CITY  
CODE SECTION - 150.08. WHEN YOU  
SUBMIT YOUR APPLICATION FURNISH A  
LETTER INDICATING THAT YOU HAVE MET  
THE VARIOUS CONDITIONS FOR GRANTING A PERMIT.

date 3-26-87 signed ELDON HUBER date \_\_\_\_\_ signed \_\_\_\_\_

SENDER: Mail white and pink copies with carbon intact.

RECEIVER: Reply, retain white copy, return pink copy



SENDER: Mail white and pink copies with carbon intact.

RECEIVER: Reply, retain white copy, return pink c

date 3-26-87

signed ELMON HUBER

date

signed

THE VARIOUS CONDITIONS FOR GRANTING A PERMIT,  
LETTERS INDICATING THAT YOU HAVE MET

SUBMIT YOUR APPLICATION FURNISH A

CODE SECTION - 120.08, WHEN YOU

A COPY OF THE APPLICABLE CITY

A DEDUCTION PERMIT RECORD WITH

ENCLOSURE FIND AN APPLICATION FOR

6 251 E. WASHINGTON

subject Proposed Deduction Book

TO Beck's Construction

message

reply

CITY OF NAPOLEON  
252 W. Riverview  
NAPOLEON, OHIO 43542

Water Tapping Fees Within The City Limits.

1 inch diameter size \$300.00  
1 1/2 inch diameter size \$450.00  
2 inch diameter size \$800.00

Larger than 2 inch shall be determined by the cost of the installation plus 25%

Water Tapping Fees Outside the City Limits.

1 in diameter size \$450.00  
1 1/2 inch diameter size \$675.00  
2 inch diameter size \$1,200.00

Larger than 2 inch shall be determined by the cost of the installation plus 75%

~~INSPECTION~~

Sewer ~~Tap~~ Fees Shall Be As Follows.

Single-Family and Two-Family Dwellings \$60.00  
Multi-Family Dwellings, Commercial & Industrial Within The City Limits.

First 50 Linear Feet \$100.00

Each Additional 100 Linear Feet \$10.00

All Commercial And Industrial Outside The City \$600.00

Bond For All Street Openings \$250.00

Large Street Openings, Bond To Be Set By The Engineer

Sign Permit Fees

Signs And Billboards

Per Unit \$4.00

Plus \$.05 Per SQ FT Including All Advertising Sides

Awning And Marquees \$4.00

Per Unit

Plus \$1.00 Per Each \$500.00 Of Cost

Demolition And Moving Structures

Notice Sent To Adjoining Property Owners

Notification To All Utility Companies

Health Department Showing No Vermin

Certificate Of Insurance

\$100,000 Per Person, \$300,000 Per Incident,

\$100,000 Damage Liability

Complete Within 90 Days

Lot Filled And Graded

Foundation And Basement Floor Broken Up

Portable Fire Extinguisher May Be Required

Fence May Be Required Around Demolition Site

Sanitary And Storm Sewer Capped (Inspection

Required Before Backfill)

Fee: 12,000 CU FT Or Less \$10.00

For Each Additional 12,000 CU FT \$ 5.00

No Fee For Buildings 80 SQ FT Or Less

Permit Required

Inspection After Completion



§ 150.08 DEMOLITION; PERMIT REQUIRED.

(A) Any demolition or removal of buildings or structures within the city shall require a permit.

(B) Permits to remove or demolish a building or structure shall be granted by the building official of the city. No permit shall be granted until the following requirements are met:

(1) A notice of application shall have been given to the owners of lots adjoining the lot from which the building or structure is to be removed or demolished.

(2) The owner or agent of the building or structure shall notify all utilities having service connections within the building or structure for the purpose of obtaining written releases stating that their respective service connections and appurtenant equipment, such as meters and regulators, have been removed or sealed and plugged in a safe manner.

(3) A certificate shall be obtained from the Henry County Department of Health, stating that the building or structure either has no rats, pigeons, or vermin, or that the building or structure shall be exterminated by a commercial exterminator prior to demolition or removal work.

(C) A certificate of insurance shall be filed with the building official which shall provide for bodily injury liability for not less than \$100,000 per person and \$300,000 per incident, and property damage liability in the sum of \$100,000. Liability insurance shall not be required under the following conditions:

(1) Demolition is being done by the owner as the prime contractor; provided, the owner must hold title to the land and building or structure.

(2) Demolition is being done by a governmental agency.

(D) Demolition or removal of any building or structure shall be completed within 90 days from the time the permit is issued. Additional time may be granted if a written letter is submitted to the building official explaining circumstances.

(E) For purposes of this section, "COMPLETION OF DEMOLITION OR REMOVAL" means that the vacant lot shall be filled, graded, and maintained in conformity to the existing lot grade. The lot shall be maintained free from the accumulation of rubbish and all other unsafe or hazardous conditions which endanger the life or health of the public; and provisions shall be made to prevent the accumulation of water or damage to any foundations on the premises or the adjoining property.





(F) The following provisions shall be required when deemed necessary by the building official:

(1) During demolition, portable fire extinguishers shall be readily available.

(2) Fences. Every operation located 5 feet or less from the street lot line shall be enclosed with a fence not less than 8 feet high to prevent entry of unauthorized persons. When located more than 5 feet from the street lot line, a fence or other approved barrier shall be erected when required by the building official. All fences shall be of adequate strength to resist wind pressure.

(3) Material shall not be dropped by gravity or thrown outside the exterior walls of a building during demolition or removal. Wood or metal chutes shall be provided for this purpose and any material which in its removal will cause an excessive amount of dust shall be wet down to prevent the creation of a nuisance.

(G) Any building or structure demolished or removed shall have the sanitary and storm sewers capped in an approved method and shall be inspected by the building official prior to backfilling.

(H) The cost of permits shall be as follows:

(1) Demolition permit.

(a) Minimum \$10 per building or structure less than, but not more than, 12,000 cu. ft., including all floors and basement areas.

(b) Plus \$5 for each additional 12,000 cu. ft., or fractional part thereof.

(2) Moving of building. The fee for a building permit for the removal of a building or structure from one lot to another or to a new location on the same lot shall be as follows:

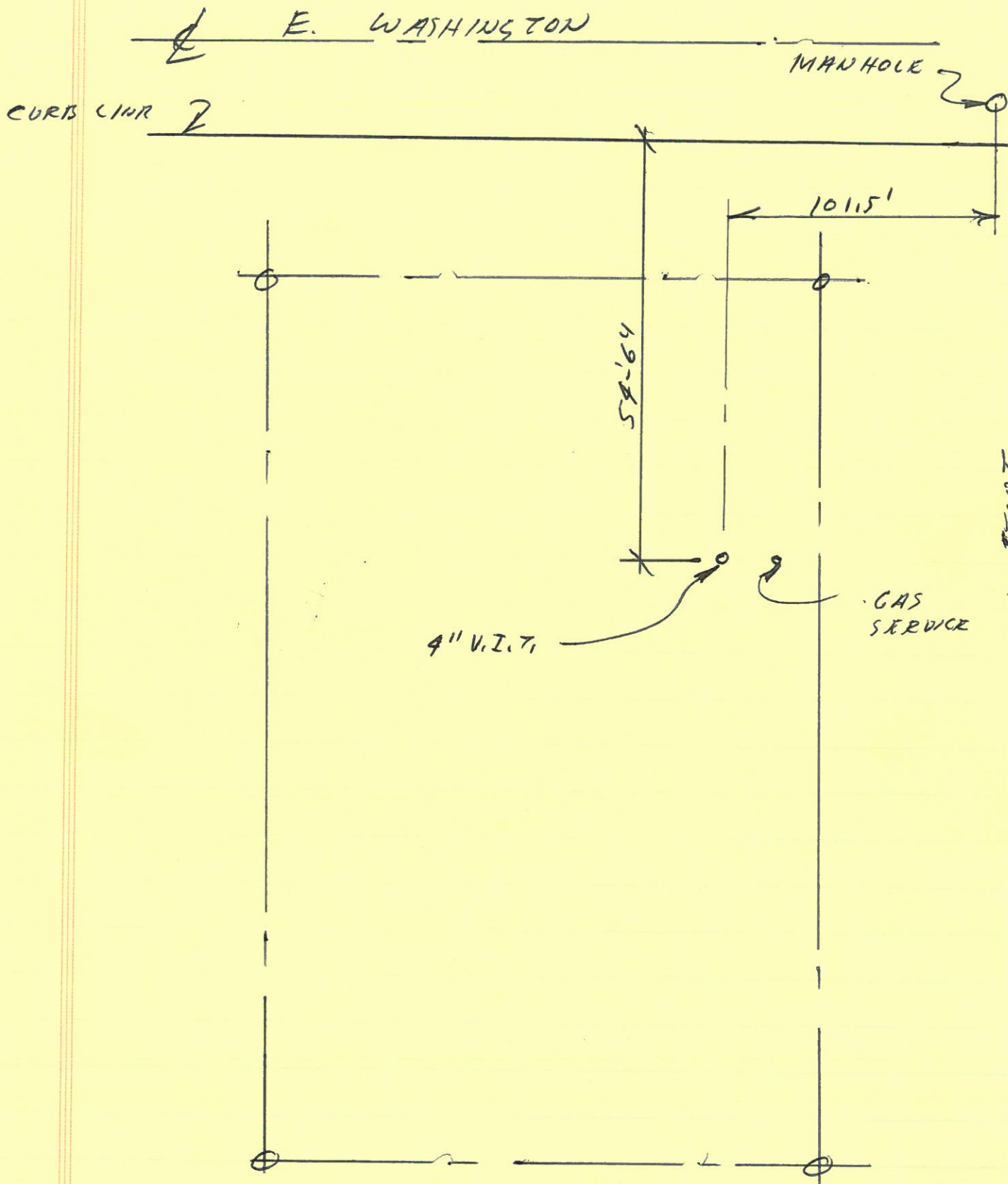
(a) Minimum \$10 per building structure less than, but not more than, 12,000 cu. ft. including all floors and basement areas.

(b) Plus \$5 for each additional 12,000 cu. ft. or fractional part thereof.

(3) Small buildings. There shall be no permit fee imposed for demolition or moving of buildings of 80 square feet or less. This does not constitute a waiver of any of the provisions of the ordinance, such as a waiver of the requirement to obtain a permit or the right to inspect the site.

(I) The penalty for any violation of this chapter shall be a \$25 fine. Each day a violation exists on the same property shall be considered a separate offense. (Ord. 1367, passed 4-4-77)





521 E. WASHINGTON

WASHINGTON



Core 2

17.109

20.109

Core 2

20.109

Core 2

# City of Napoleon

City of Napoleon  
255 W. Riverview Ave.  
43545

Phone: (419) 592-4010  
FAX: (419) 599-8393  
email:

Friday, October 8, 1999

Mr. Art Bradford  
The Dotson Co. Inc.  
6848 Providence St.  
Whitehouse, OH 43571

Re. Addendum to permits for the proposed dwellings at 521/523 E. Washington St. & 547/549 Euclid Ave.  
Napoleon, Ohio

Dear Mr. Bradford

*copy to each file*

Please note certain City code requirements and specification for the above referenced job locations.

1. Each dwelling shall have a separate 1" Copper or 1" CTS-PE service line to the mechanical room.
2. Water meters are to be located and installed in accordance to City specification sheet # RWM1" (attached). Note - backflow device required and must be installation in horizontal position per city code.
3. Sidewalks are to be installed in accordance with City specification sheet # RS (attached).
4. Driveway installation shall be according to specification sheet # RDSD (attached).
5. Contractor shall install sewer taps from main to dwelling, one six inch tap per building/location. ROMAC brand saddle required on main. Street bond of \$500.00 required for each location, bond will be returned upon complete restoration of work area.
6. Site contractor shall be responsible to grade drainage swales on sides and rear of property to prevent storm water runoff to neighboring properties.

All remaining site work shall comply with the City of Napoleon Engineering Rules & Regs and sheet # RSDUS. Building construction shall comply with the latest OBOA residential codes. Inspections required according to inspection sheet # NHI (attached).

If you have questions regarding the requirements and specification described herein please call.

Sincerely



Brent Damman  
Zoning Administrator





# RESIDENTIAL PLAN CORRECTION SHEET

CITY OF NAPOLEON  
255 West Riverview Ave.  
Napoleon, Ohio 43545  
(419) 592-4010

ADDENDUM TO PERMIT NO. \_\_\_\_\_

Owner New Home Development  
Contractor Dotson Co. Inc.  
Location 521/523 E. Washington +  
547/549 Euclid Ave.

Please note the items checked below and incorporate them into your plans as indicated:

[ ] Permit not yet issued, correct Plans and re-submit.

☒ Permit issued, incorporate items during construction.

## GENERAL

- ☒ Provide approved smoke detector(s) as req'd.
- ☐ Provide 1/2" gypsum wallboard between dwelling and garage, on garage side.
- ☐ Provide min. 1-3/8" solid wood door from garage to dwelling (or equal).
- ☐ Submit fully dimensioned plot plan.
- ☒ Provide min. of 1 - 3' 0" x 6' 8" exit door.
- ☒ Provide min. 22" x 30" attic access opening.
- ☒ Provide min. 18" x 24" crawl space access opening.
- ☐ Provide approved sheathing or flashing behind masonry veneer.
- ☒ Provide min. 15# underlayment on roof.
- ☐ Provide adequate fireplace hearth.
- ☐ Install factory built fireplaces/stoves according to manufacturer's instructions.
- ☐ Terminate chimney 2' above roof or 2' above highest point of bldg within 10' of chimney.

- ☐ Show size of members supporting porch roof.
- ☐ Provide double top plate for all bearing partitions and exterior walls.
- ☐ Provide design data for prefab wood truss.
- ☐ Ceiling joists undersized in \_\_\_\_\_
- ☐ Roof rafters undersized in \_\_\_\_\_

} Per plan

## PLUMBING AND MECHANICAL

- ☒ Terminate all exhaust systems to outside air.
- ☐ Insulate ducts in unheated areas.
- ☒ Provide backflow prevention device on all hose bibs.
- ☒ Terminate pressure and temperature relief valve drain in an approved manner.
- ☐ Provide dishwasher drain with approved air gap device.

## EGRESS WINDOWS

- ☒ All bedroom windows shall have a min. net clear opening width of 20" and a min. net clear height of 24".
- ☒ First floor bedrooms windows shall have a min. net clear opening of 5.0 s.f.. Second floor bedroom windows shall have a min. net clear opening of 5.7 s.f.

## ELECTRICAL

- ☐ Show location of service entrance panel and service equipment panel.
- ☒ G.F.C.I. req'd. on temporary electric.
- ☒ Outdoor, bathroom, and garage receptacles shall be protected by G.F.C.I.
- ☒ Max. number of receptacles permitted on a G.F.C.I. circuit shall be 10 for 20 A. circuits and 7 for 15 A. circuits.
- ☒ Refrigerators, microwaves, washers, disposal, furnace and air conditioners shall be on separate circuits.

## INSPECTIONS

The following indicated inspections are req'd.  
The owner or his agent shall contact the City Bldg. Dept. at least 24 hrs. prior to the time the inspection is to be made.

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Footer & setbacks                           | <input checked="" type="checkbox"/> Electrical rough-in |
| <input checked="" type="checkbox"/> Foundation                                  | <input checked="" type="checkbox"/> Electrical - final  |
| <input checked="" type="checkbox"/> Plumbing rough-in                           | <input checked="" type="checkbox"/> Building sewer      |
| <input checked="" type="checkbox"/> Plumbing - final                            | <input checked="" type="checkbox"/> HVAC rough-in       |
| <input checked="" type="checkbox"/> Electrical service                          | <input checked="" type="checkbox"/> Final building      |
| <input checked="" type="checkbox"/> Other <u>sidewalk, driveway, sewer tap.</u> |   |

## LIGHT AND VENTILATION

- ☒ Provide mechanical, exhaust or window in bathroom all
- ☒ Provide min. per brochure sq. in. net free area attic ventilation.
- ☒ Provide min. per plan sq. in. net free area crawl space ventilation.

## FOUNDATION

- ☒ Min. depth of foundation below finished grade is 36".
- ☒ Min. size of footer per plan "
- ☒ Provide anchor bolts, 1/2" @ 6' o.c. 1' from each corner. Embedded 7" in concrete and 15" in masonry.
- ☐ Show size of basement columns.

## FRAMING

- ☐ Show size of wood girder in \_\_\_\_\_
- ☐ Provide design data for structural member in \_\_\_\_\_
- ☐ Floor joists undersized in \_\_\_\_\_
- ☐ Provide double joists under parallel bearing partitions.
- ☐ Provide 1" x 4" let in corner bracing, approved sheathing, or equal.
- ☐ Show size of headers for openings over 4' wide \_\_\_\_\_

} Per plan

Additional corrections/comments: \_\_\_\_\_

The approval of Plans and Specifications does not permit the violation of any Section of the Building Code or other City Ordinance. This addendum is attached to Permit No. \_\_\_\_\_ and made a part thereof.

Date 10-11-99

☒ approved ( ) disapproved Checked by BND

PLANCORR.SAM05/03/95

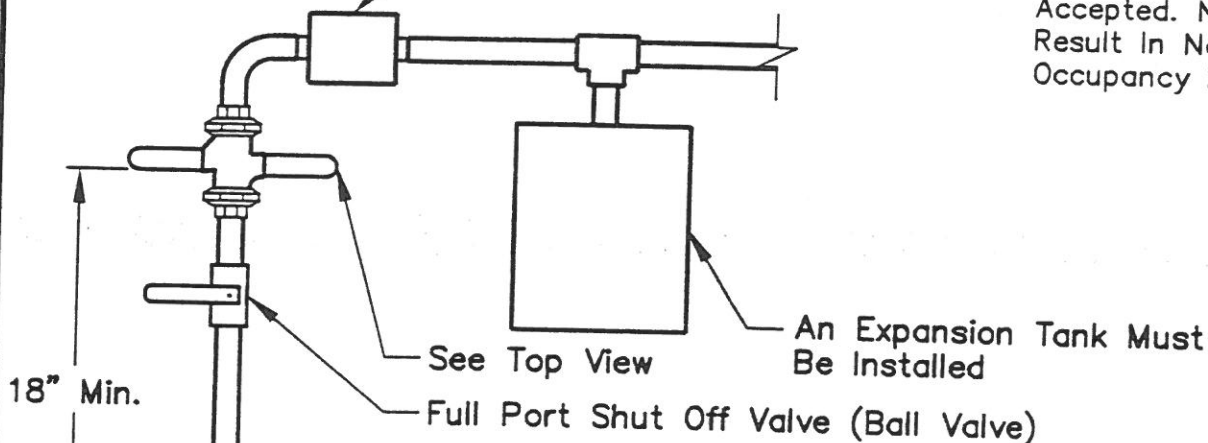


# Inside Residential Detail 5/8", 3/4", Or 1" Meter

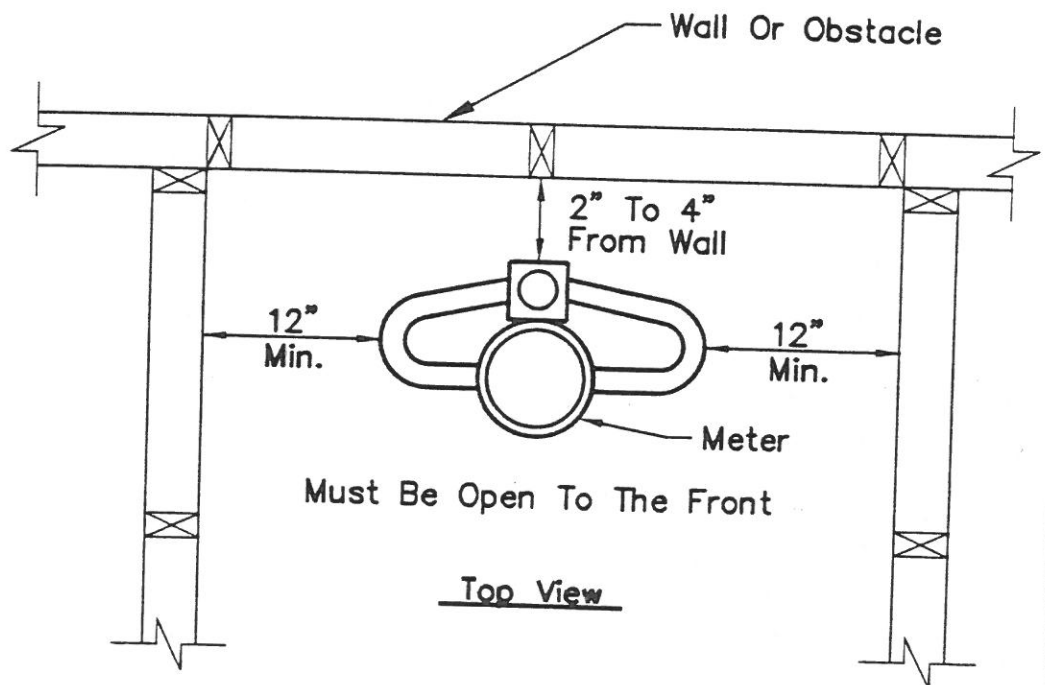
Dual Check Valve Assembly  
Backflow Preventer  
(Mounted Horizontal)

Note:

New Meter Installation In  
Crawl Spaces, Will Not Be  
Accepted. Noncompliance Will  
Result In No Issuance Of  
Occupancy Permit.



Side View



Top View

CITY OF NAPOLEON  
ENGINEERING DEPARTMENT  
PO BOX 151 / 255 W. RIVERVIEW AVE.  
NAPOLEON, OHIO 43545  
PHONE NO. (419) 592-4010  
FAX NO. (419) 599-8393

City Of Napoleon  
Water Distribution Dept.  
Typ. Service Installation

RWM 1"

DATE: 04/07/99

DRAWN BY: M.B.S.

APPROVED BY: J.C.M.

SCALE: NTS

SHEET \_\_\_ OF \_\_\_





## CITY OF NAPOLEON

RESIDENTIAL SIDEWALK SPECIFICATION

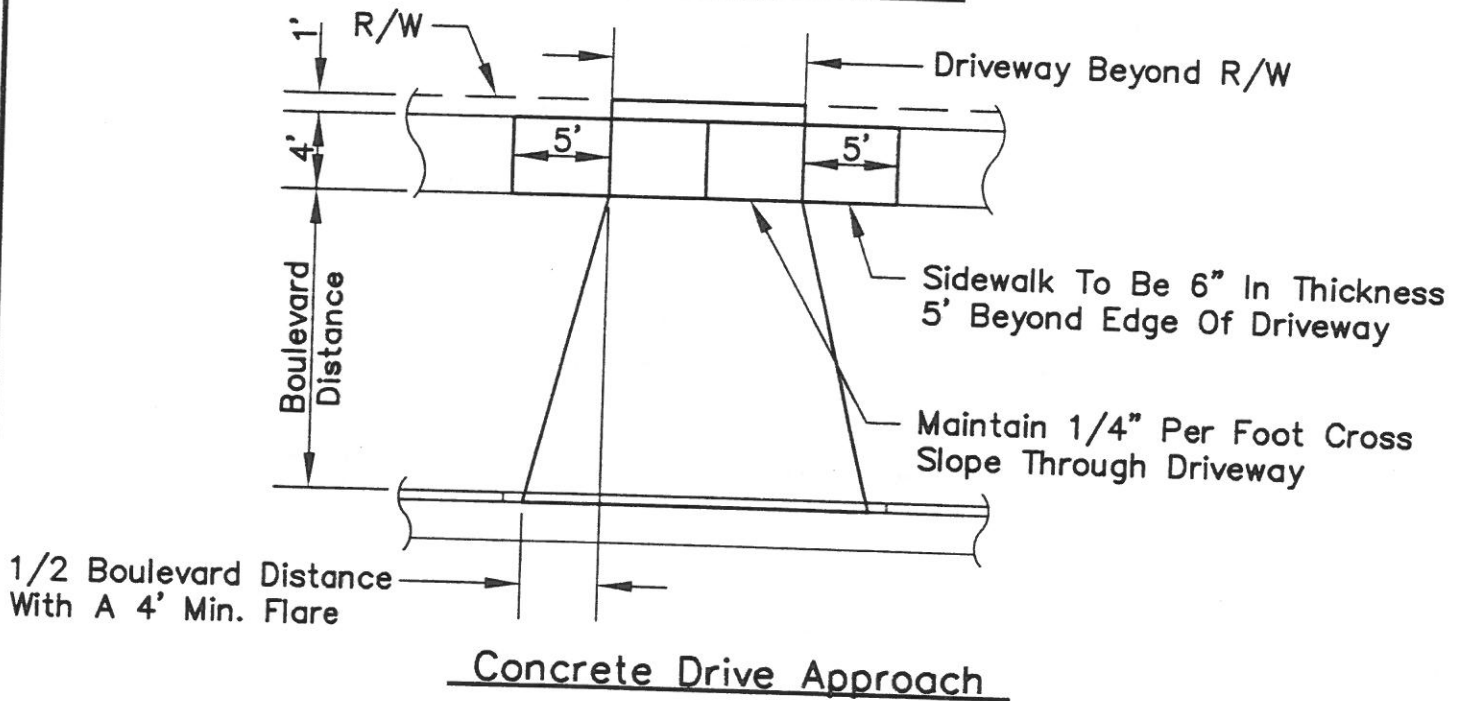
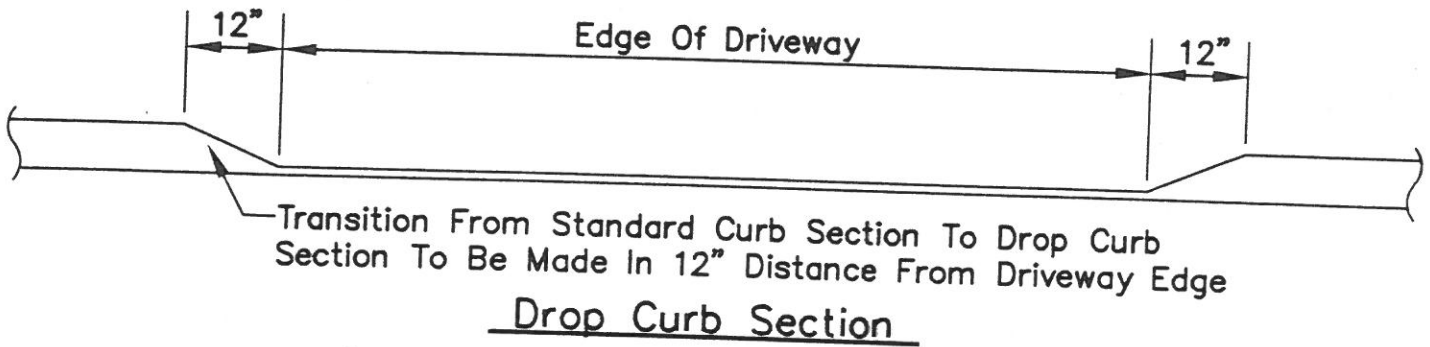
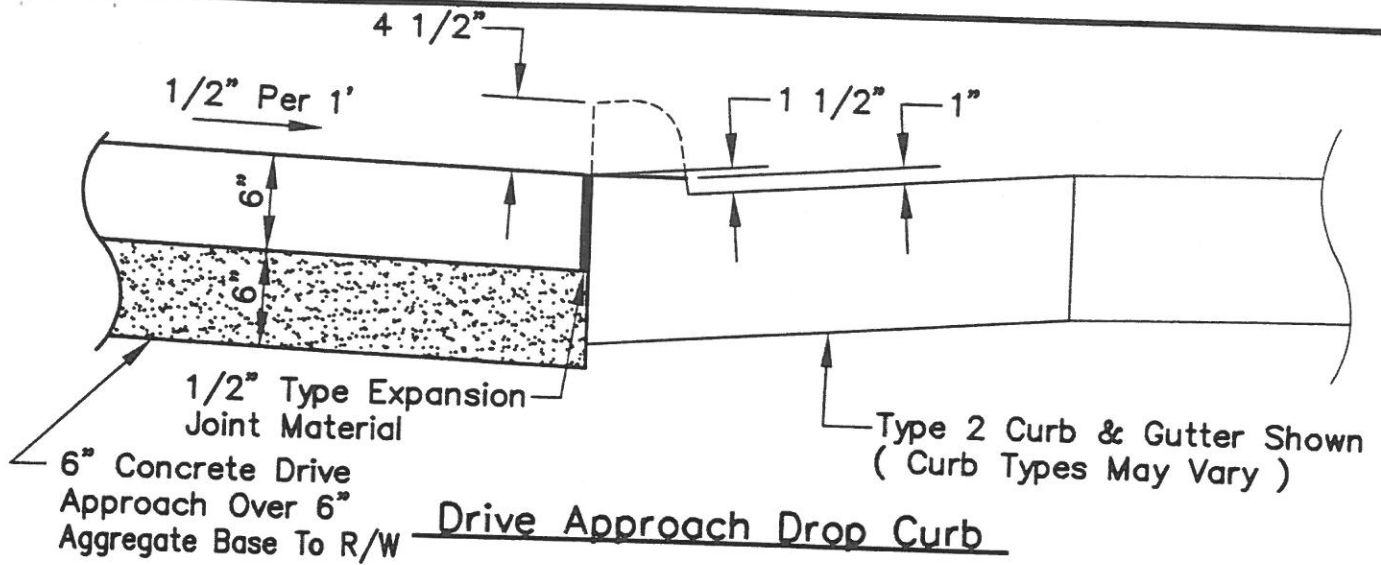
## I. WORK INCLUDED:

- A. Under this item the Contractor shall improve by construction, reconstruction or repairing as is necessary public sidewalks between limits established by the Engineer.
- B. Sidewalks shall be at least four (4") inches in thickness and in driveway crossings six (6") inches in thickness. When sidewalks abutt with the curb, the width shall be five (5') feet or as wide as the existing sidewalks; in either case, a minimum width of four (4') feet shall be adhered to. Edge of walks adjacent to the property line of the street shall be placed at least one (1') foot from the property line or meet existing sidewalks. The Engineering Department will give line and grade.
- C. Old concrete sidewalk material shall be removed and granular material used for fill if necessary to meet grade.
- D. All work shall conform to the standard specifications published by the Ohio Department of Transportation (O.D.O.T.) and the City, in effect at the date of contract and the requirements under these specifications.
  1. Referenced O.D.O.T. specifications as follows:
    - 608. concrete walks
    - 499. concrete
    - 511.12 depositing and curing concrete in cold weather

## II. MATERIALS AND FINISH:

- A. A minimum 3" thick #10 crushed limestone base shall be provided and compacted in place.
- B. The concrete mix shall be a minimum of a 6' bag mix with 5 to 6% air entrainment. All surface area shall be broom finished and sealed with an Engineer approved concrete sealer. All joints shall be trowel-cut with a maximum joint spacing of 5 feet. The depth of cut shall be a minimum  $\frac{1}{4}$  of the thickness of the slab. The final trowel-cut and edging shall be done after the final brooming. Expansion joints shall be placed at a maximum of 40 feet and at all intersecting walks.





\* Any Variance From Detail To Be Approved By City Of Napoleon Engineering Department \*

CITY OF NAPOLEON  
ENGINEERING DEPARTMENT  
PO BOX 151 / 255 W. RIVERVIEW AVE.  
NAPOLEON, OHIO 43545  
PHONE NO. (419) 592-4010  
FAX NO. (419) 599-8393

Drive Approach  
And Drop Curb  
Standard Detail  
**RDSD**

DATE: 10/27/98  
DRAWN BY: M.B.S.  
APPROVED BY: A.C.H.  
SCALE: NTS  
SHEET \_\_\_ OF \_\_\_



## MINIMUM REQUIREMENTS FOR RESIDENTIAL CONSTRUCTION, SITE DEVELOPMENT & UTILITY SPECIFICATIONS.

1. Two complete sets of plans are required. Plans shall include elevation drawings, floor plan for all floors including basement showing window sizes, foundation and footer details, electrical layout, plumbing layout, ducting layout, lot grading plan and site plan showing utility location (water service, sanitary sewer, storm sewer and electrical service).

2. Minimum line size and pipe types are as follows;

- (a). Water service line size shall be 1" CTS (copper tubing size polyethylene) or type K copper tubing. If polyethylene tubing is used a 12 gauge tracing wire shall be buried along side the entire length of the line and into the building. Backflow prevention devices are required and must be mounted in a horizontal position. All hose bibbs shall be equipped with vacuum breakers.
- (b). Sanitary sewer shall be minimum 4" PVC SDR 35 gasket joint pipe and a cleanout shall be located at 18" from building wall.
- (c). Storm sewer shall be a minimum of 4" field tile with approved adapters. Footer tiles and sump pumps may discharge to the storm sewer. Roof drains and down spouts shall discharge over the ground.

3. Sidewalks are required in most developments in accordance with City specifications. Concrete drive approaches 6" minimum thickness with a minimum 4" stone base are required from the curb to the front property line. Driveway outside of the City right of way shall be a minimum of 4" thick concrete with a minimum of 4" stone base. Sand shall not be permitted for any type of backfill or base.

4. Electrical service shall comply with the City of Napoleon specifications, aluminum conductors shall not be permitted. Underground conductors shall be installed by the City of Napoleon the cost of which shall be born by the user. Installation of electrical service shall not be completed until the City receives full payment for the service installation.

This is not a complete list of requirements, other regulations are applicable including the requirements of the Napoleon City Code of Ordinances and Ohio Building Officials Association (OBOA) code. Inspections are required for all the above.

RSDUS





# NEW HOMES & ADDITIONS

## REQUIRED INSPECTIONS

1. Location and setback prior to any excavation.
2. Footer excavation and forming, prior to pouring concrete.
3. Foundation walls prior to pouring and before back-filling, garage floor before pouring, & driveway and sidewalks before pouring.
4. Structural inspection for exterior & interior walls, floor system, roof system and stairways.
5. Rough-in for electrical, mechanical, plumbing and insulation.
6. Siding, interior wall covering (drywall), fire place and other specialty items.
7. Final inspection on electrical, mechanical, & plumbing.
8. Final on stairways banisters & balusters, guard rails, smoke detectors.

Occupancy for new homes & additions is issued only after the above inspections have been approved. In addition, for new homes, water meters must be installed and utilities must be placed in the name of the person who will occupy the dwelling.

For inspections call (419) 592-4010 ask for Brent Damman.

