

## MEMORANDUM

TO: Members of the Board of Zoning Appeals  
FROM: Brent N. Damman, Zoning Administrator *BND*  
SUBJECT: Living area square footage variance 521 E.  
Washington St. & 551 Euclid Ave.  
HEARING DATE: January 13, 1998 at 4:30 PM  
HEARING #: BZA 98/01

## BACKGROUND

An application for variance has been filed by Caren Bauer of New Home Development Co. Inc. (applicant), on behalf of Becks Construction Co. Inc. 11622 Co Rd M Napoleon, Ohio (owners). The applicant is requesting a variance to the minimum dwelling unit living area square footage. Current regulations require a minimum dwelling unit living area of 800 square feet. The request is to reduce the living area to 600 square feet. The applicant wishes to construct a duplex dwelling building on certain vacant building lots located at 521 E. Washington St. and 551 Euclid Ave. Napoleon. The variance request is to City Code section 1131.06 (i). Both properties are subject to R-4 High Density Residential zoning regulations.

## RESEARCH AND FINDINGS

1. The City zoning code requires a minimum living area of 800 square feet. (Approximately 24' x 33' house) The applicant is requesting to build a 600 square foot per unit duplex. (Approximately 24' x 25' house)
2. The size of dwelling units proposed would be the size of a typical two car garage.
3. The dwellings will be used to house persons with special needs. The owners are obligated to rent to these type of persons for a certain minimum period of time.
4. The idea behind the smaller units is that it would be less for the tenant to take care of, they would have lower utility bills and they would cost less to construct.
5. At today's construction figures of \$65.00 per square foot, it would cost approximately 52000.00 for each 800 square foot dwelling unit and 39000.00 for each 600 square foot dwelling unit. This is a cost savings of 26000.00 per building.

### ADMINISTRATIVE OPINION

It is my opinion that 600 square feet is a bare minimum for living quarters. The applicant appears to understand the needs of their tenants. The cost savings idea seems reasonable especially since they are using tax dollars to fund the projects. It would appear that the applicant has met the standards for variance. Therefore, I am recommending approval of the request

### CONSIDERATIONS

The Board shall not render a decision on this request until it has reviewed the following standards for variation.

The standards for variation to be considered are as follows:

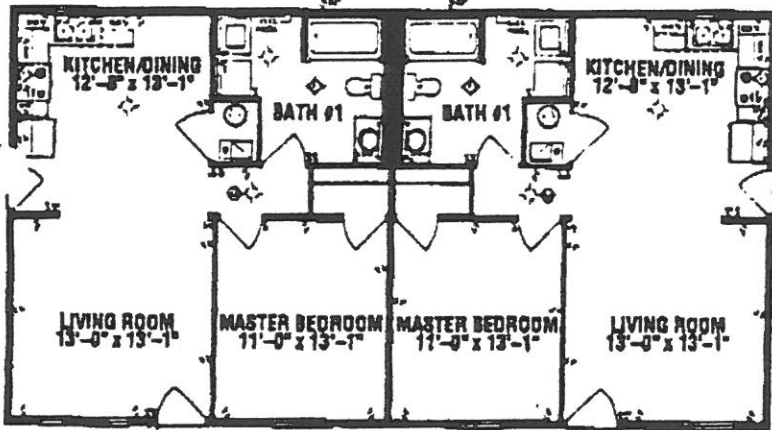
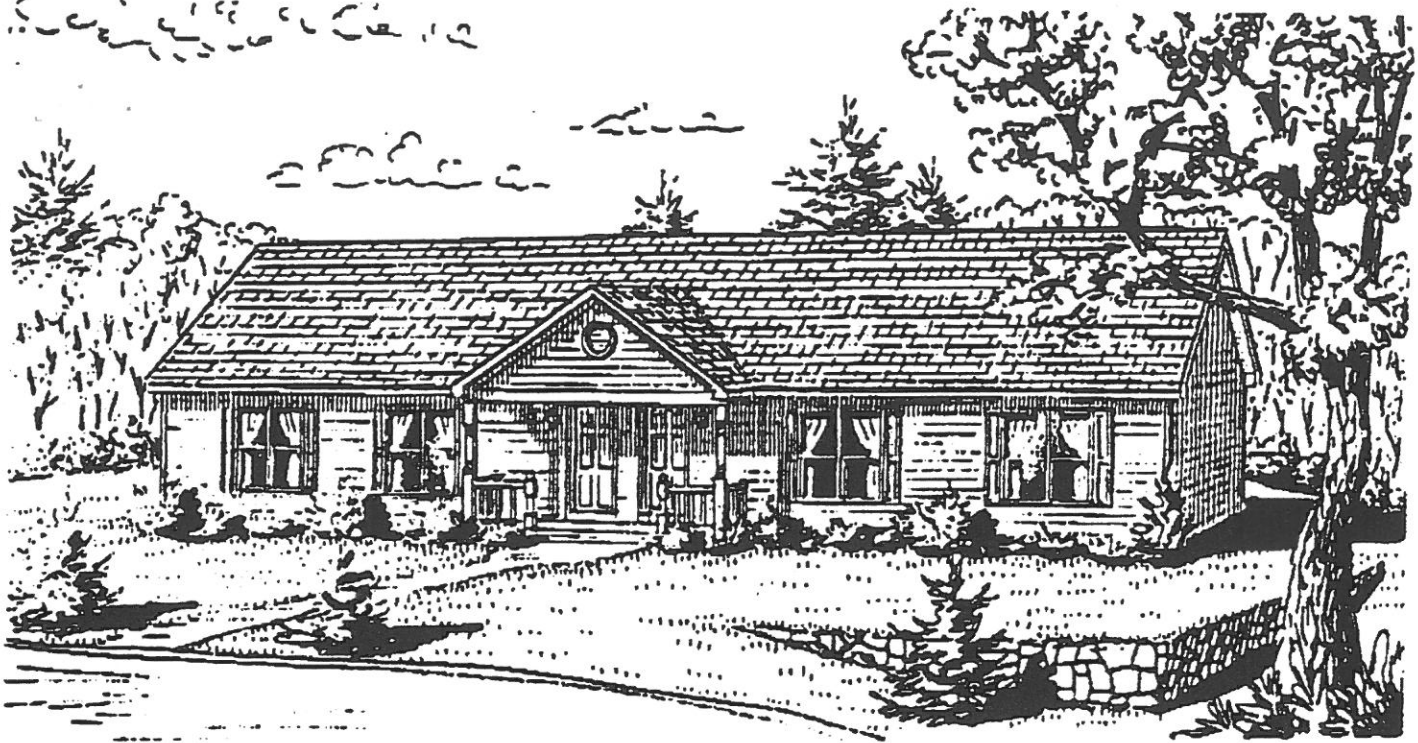
- (a) That there are exceptional or extraordinary circumstances or conditions applicable to the property or to the intended use that do not apply generally to the other property or use in the same vicinity or district.
- (b) That such Variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity or district but which is denied to the property in question.
- (c) That the granting of such Variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity or district in which the property is located.
- (d) That the granting of such a Variance will not alter the land use characteristics of the vicinity or district, diminish the value of adjacent land and improvements or increase the congestion in the public streets.

New Home Development Company, Inc. (NHDC) is requesting a variance for minimum unit size for duplexes that the agency plans to construct on Euclid and Washington Streets. Please find enclosed a comparable floor plan that the agency may use if granted the variance. NHDC is requesting the minimum size per unit be adjusted to 600 sf but at this time the exact square foot per unit has not been established.

#### REASONING FOR REQUESTING A VARIANCE FOR MINIMUM UNIT SIZE:

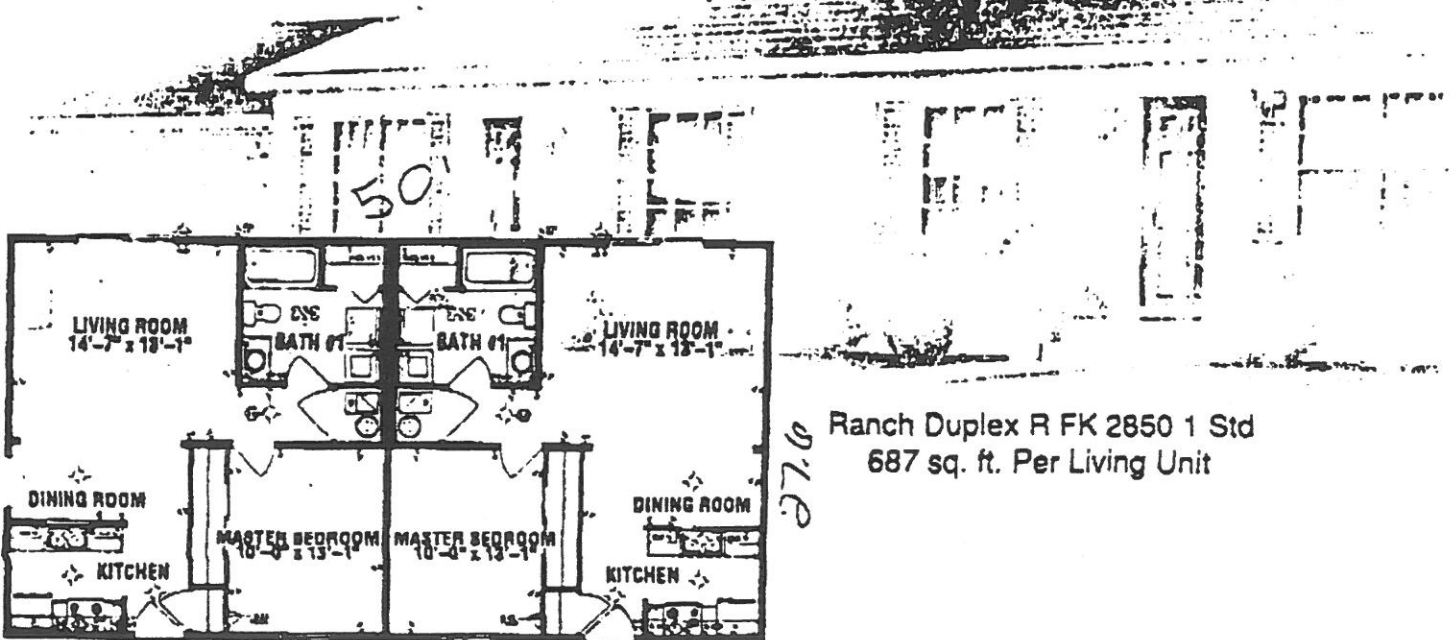
- 1)NHDC is choosing to construct duplexes that consist of one bedroom units.
- 2)The purpose of one bedroom units would be defeated if the size of the units needed to be increased to 800 sf.
- 3)It is NHDC's intention to house single person households in these units.
- 4)The construction of a duplex with one bedroom units can be attractive looking and fit nicely into the neighborhood.
- 5)The funding source for this project is requiring one bedroom units and unit size to be around 600 sf.
- 7)The funding source for this project requires that these units be used for their intended purpose for the next 40 years.
- 8)There are not a sufficient number of 1-bedroom units available in the area.
- 9)NHDC, through units the agency currently owns, has found that smaller 1-bedroom units provide ample living space for a single person household.
- 10)NHDC currently owns a 3-bedroom home that totals 816 sf (see enclosed flyer and pictures). NHDC does not see the necessity in constructing a unit of this size to house only one person.
- 11)By increasing the units to 800 sf, the per unit costs will go up approximately \$20,000, making the cost of construction not feasible for NHDC.
- 12)Persons living in these units will be on very fixed incomes (approx. 16% of area median income) by constructing smaller units the cost savings (utility costs as well) will be passed on to the tenants making these units more affordable.

*Scenic View*



*Possible Floor Plan*

Ranch Duplex R 2850 1 Std  
687 sq. ft. Per Living Unit



Ranch Duplex R FK 2850 1 Std  
687 sq. ft. Per Living Unit