

P E R M I T

CITY OF NAPOLEON
255 W. RIVERVIEW AVE
NAPOLEON, OHIO 43545

DIVISION OF BUILDING & ZONING
PH (419) 592-4010
FAX (419) 599-8393

PERMIT NO: 98014

DATE ISSUED: 01-20-98

ISSUED BY: BND

JOB LOCATION: 521 E WASHINGTON ST

EST. COST:

LOT #: 14

SUBDIVISION NAME: RK SCOTTS 1ST

OWNER: NEW HOME DEVELOPMENT CO I
ADDRESS: 1933 E SECOND ST
CSZ: DEFIANCE, OH 43512
PHONE: 419-784-2150

AGENT: N/A
ADDRESS:
CSZ:
PHONE:

USE TYPE - RESIDENTIAL: X

OTHER:

ZONING INFORMATION

DIST: R-4 LOT DIM: 66X130 AREA: 8580 FYRD: 25 SYRD: 7 RYRD: 15
MAX HT: 45' # PKG SPACES: 2 # LOADING SP: MAX LOT COV: 45%

BOARD OF ZONING APPEALS:

WORK TYPE - NEW: X

REPLMNT:

ADD'N:

ALTER:

REMODEL:

WORK INFORMATION

SIZE - LGTH: WIDTH: STORIES: LIVING AREA SF: 600 EACH
GARAGE AREA SF: HEIGHT: BLDG VOL DEMO PERMIT:

WORK DESCRIPTION

VARIANCE TO SECTION 1131.06(1)

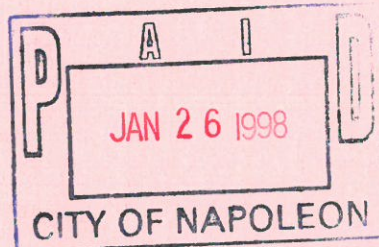
FEE DESCRIPTION

PAID DATE

FEE AMOUNT DUE

ZONING PERMIT

12.50



TOTAL FEES DUE

12.50

DATE-----
APPLICANT SIGNATURE

Zoning Permit Only!
other permits may be required

Friday, October 8, 1999

Mr. Art Bradford
The Dotson Co. Inc.
6848 Providence St.
Whitehouse, OH 43571

Re. Addendum to permits for the proposed dwellings at 521/523 E. Washington St. & 547/549 Euclid Ave.
Napoleon, Ohio

Dear Mr. Bradford

Please note certain City code requirements and specification for the above referenced job locations.

1. Each dwelling shall have a separate 1" Copper or 1" CTS-PE service line to the mechanical room.
2. Water meters are to be located and installed in accordance to City specification sheet # RWM1" (attached). Note - backflow device required and must be installation in horizontal position per city code.
3. Sidewalks are to be installed in accordance with City specification sheet # RS (attached).
4. Driveway installation shall be according to specification sheet # RDSD (attached).
5. Contractor shall install sewer taps from main to dwelling, one six inch tap per building/location. ROMAC brand saddle required on main. Street bond of \$500.00 required for each location, bond will be returned upon complete restoration of work area.
6. Site contractor shall be responsible to grade drainage swales on sides and rear of property to prevent storm water runoff to neighboring properties.

All remaining site work shall comply with the City of Napoleon Engineering Rules & Regs and sheet # RSDUS. Building construction shall comply with the latest OBOA residential codes. Inspections required according to inspection sheet # NHI (attached).

If you have questions regarding the requirements and specification described herein please call.

Sincerely



Brent Damman
Zoning Administrator

RESIDENTIAL PLAN CORRECTION SHEET

CITY OF NAPOLEON
255 West Riverview Ave.
Napoleon, Ohio 43545
(419) 592-4010

ADDENDUM TO PERMIT NO. _____

Owner New Home Development
Contractor Datson Co. Inc.
Location 521/523 E. Washington +
547/549 Euclid Ave.

Please note the items checked below and incorporate them into your plans as indicated:

- ☐ Permit not yet issued, correct Plans and re-submit.
☒ Permit issued, incorporate items during construction.

GENERAL

- ☒ Provide approved smoke detector(s) as req'd.
- ☐ Provide 1/2" gypsum wallboard between dwelling and garage, on garage side.
- ☐ Provide min. 1-3/8" solid wood door from garage to dwelling (or equal).
- ☐ Submit fully dimensioned plot plan.
- ☒ Provide min. of 1 - 3' 0" x 6' 8" exit door.
- ☒ Provide min. 22" x 30" attic access opening.
- ☒ Provide min. 18" x 24" crawl space access opening.
- ☐ Provide approved sheathing or flashing behind masonry veneer.
- ☒ Provide min. 15# underlayment on roof.
- ☐ Provide adequate fireplace hearth.
- ☐ Install factory built fireplaces/stoves according to manufacturer's instructions.
- ☐ Terminate chimney 2' above roof or 2' above highest point of bldg within 10' of chimney.

LIGHT AND VENTILATION

- ☒ Provide mechanical, exhaust or window in bathroom all
- ☒ Provide min. per brochure sq. in. net free area attic ventilation.
- ☒ Provide min. per plan sq. in. net free area crawl space ventilation.

FOUNDATION

- ☒ Min. depth of foundation below finished grade is 36".
- ☒ Min. size of footer per plan
- ☒ Provide anchor bolts, 1/2" @ 6' o.c. 1' from each corner. Embedded 7" in concrete and 15" in masonry.
- ☐ Show size of basement columns.

FRAMING

- ☐ Show size of wood girder in _____
- ☐ Provide design data for structural member in _____
- ☐ Floor joists undersized in _____
- ☐ Provide double joists under parallel bearing partitions.
- ☐ Provide 1" x 4" let in corner bracing, approved sheathing, or equal.
- ☐ Show size of headers for openings over 4' wide _____

- ☐ Show size of members supporting porch roof.
- ☐ Provide double top plate for all bearing partitions and exterior walls.
- ☐ Provide design data for prefab wood truss.
- ☐ Ceiling joists undersized in _____
- ☐ Roof rafters undersized in _____

} Per plan

PLUMBING AND MECHANICAL

- ☒ Terminate all exhaust systems to outside air.
- ☐ Insulate ducts in unheated areas.
- ☒ Provide backflow prevention device on all hose bibs.
- ☒ Terminate pressure and temperature relief valve drain in an approved manner.
- ☐ Provide dishwasher drain with approved air gap device.

EGRESS WINDOWS

- ☒ All bedroom windows shall have a min. net clear opening width of 20" and a min. net clear height of 24".
- ☒ First floor bedrooms windows shall have a min. net clear opening of 5.0 s.f. Second floor bedroom windows shall have a min. net clear opening of 5.7 s.f.

ELECTRICAL

- ☐ Show location of service entrance panel and service equipment panel.
- ☒ G.F.C.I. req'd. on temporary electric.
- ☒ Outdoor, bathroom, and garage receptacles shall be protected by G.F.C.I.
- ☒ Max. number of receptacles permitted on a G.F.C.I. circuit shall be 10 for 20 A. circuits and 7 for 15 A. circuits.
- ☒ Refrigerators, microwaves, washers, disposal, furnace and air conditioners shall be on separate circuits.

INSPECTIONS

The following indicated inspections are req'd.
The owner or his agent shall contact the City Bldg. Dept. at least 24 hrs. prior to the time the inspection is to be made.

- | | |
|---|---|
| <input checked="" type="checkbox"/> Footer & setbacks | <input checked="" type="checkbox"/> Electrical rough-in |
| <input checked="" type="checkbox"/> Foundation | <input checked="" type="checkbox"/> Electrical - final |
| <input checked="" type="checkbox"/> Plumbing rough-in | <input checked="" type="checkbox"/> Building sewer |
| <input checked="" type="checkbox"/> Plumbing - final | <input checked="" type="checkbox"/> HVAC rough-in |
| <input checked="" type="checkbox"/> Electrical service | <input checked="" type="checkbox"/> Final building |
| <input checked="" type="checkbox"/> Other <u>sidewalk, driveway, sewer tap.</u> | |

Additional corrections/comments: _____

The approval of Plans and Specifications does not permit the violation of any Section of the Building Code or other City Ordinance. This addendum is attached to Permit No. _____ and made a part thereof.

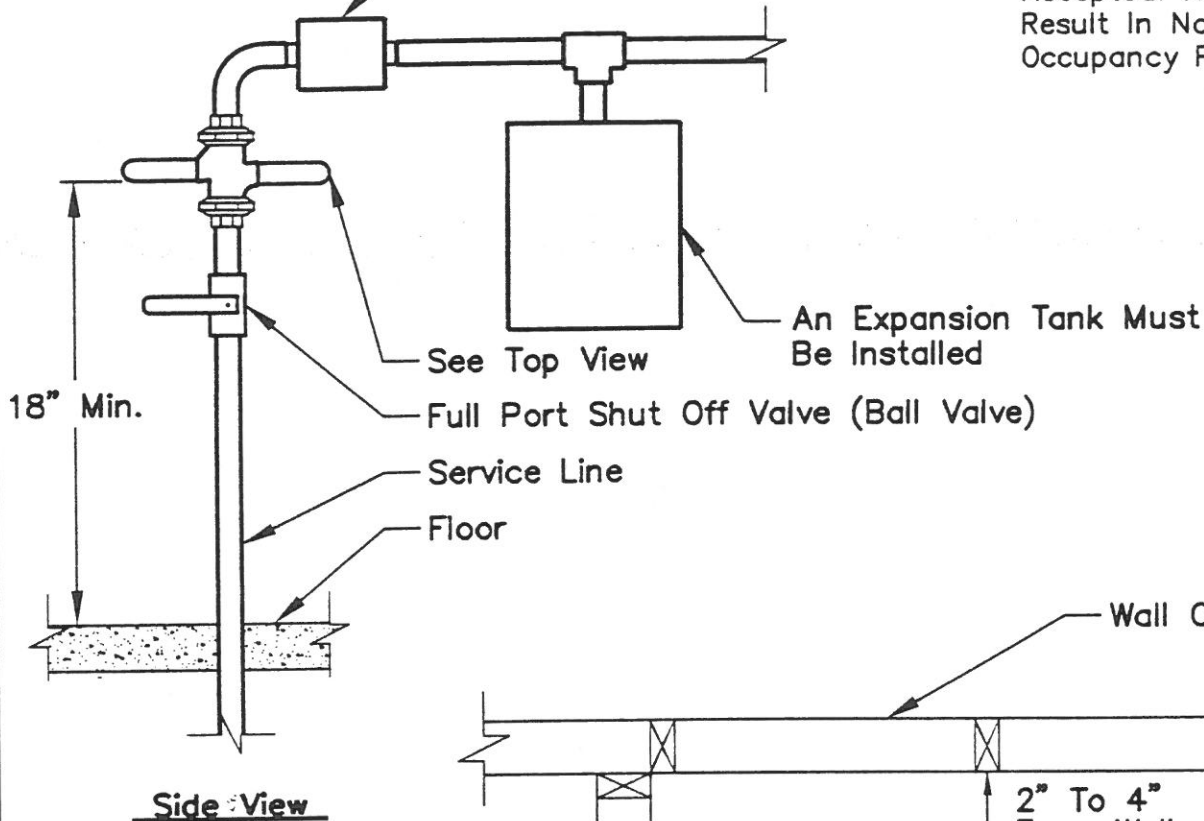
Date 10-11-99 ☒ approved () disapproved Checked by BND

Inside Residential Detail 5/8", 3/4", Or 1" Meter

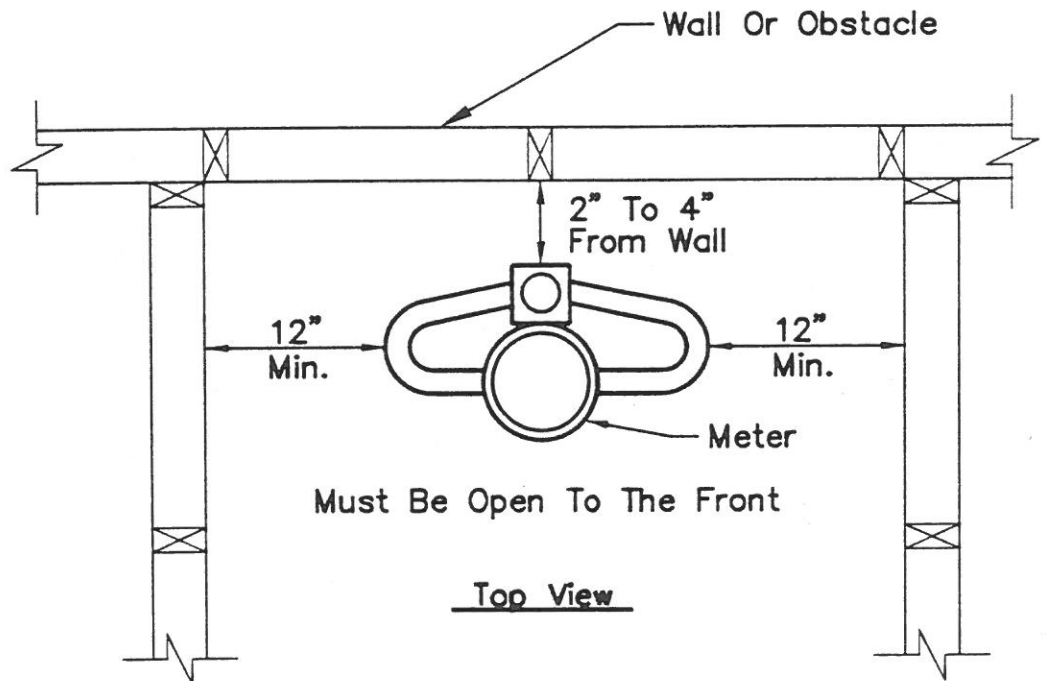
Dual Check Valve Assembly
Backflow Preventer
(Mounted Horizontal)

Note:

New Meter Installation In
Crawl Spaces, Will Not Be
Accepted. Noncompliance Will
Result In No Issuance Of
Occupancy Permit.



Side View



Top View

CITY OF NAPOLEON
ENGINEERING DEPARTMENT
PO BOX 151 / 255 W. RIVERVIEW AVE.
NAPOLEON, OHIO 43545
PHONE NO. (419) 592-4010
FAX NO. (419) 599-8393

City Of Napoleon
Water Distribution Dept.
Typ. Service Installation

RWM 1"

DATE: 04/07/99

DRAWN BY: M.B.S.

APPROVED BY: J.C.M.

SCALE: NTS

SHEET ___ OF ___

RS

CITY OF NAPOLEON

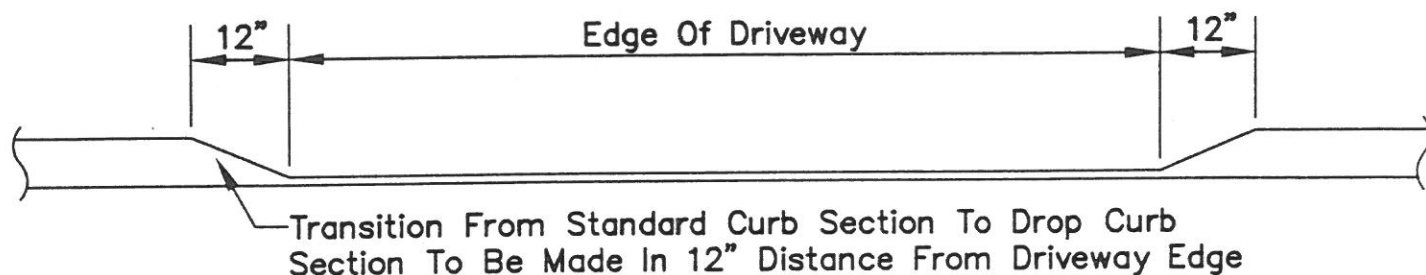
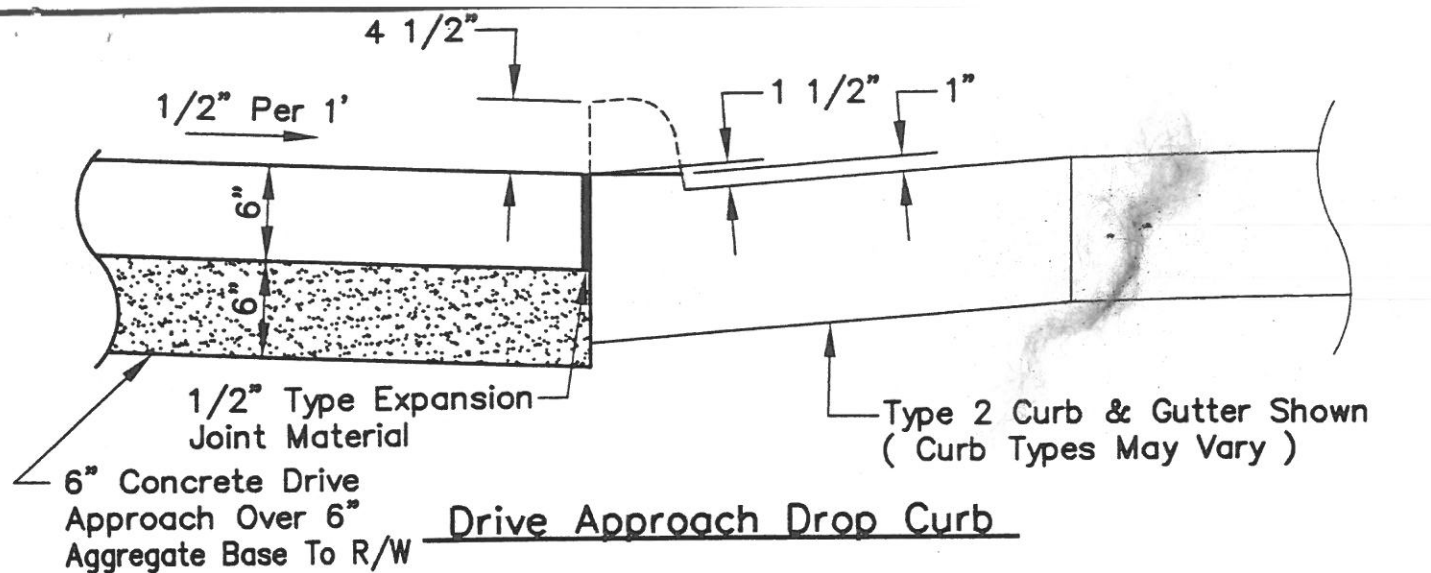
RESIDENTIAL SIDEWALK SPECIFICATION

I. WORK INCLUDED:

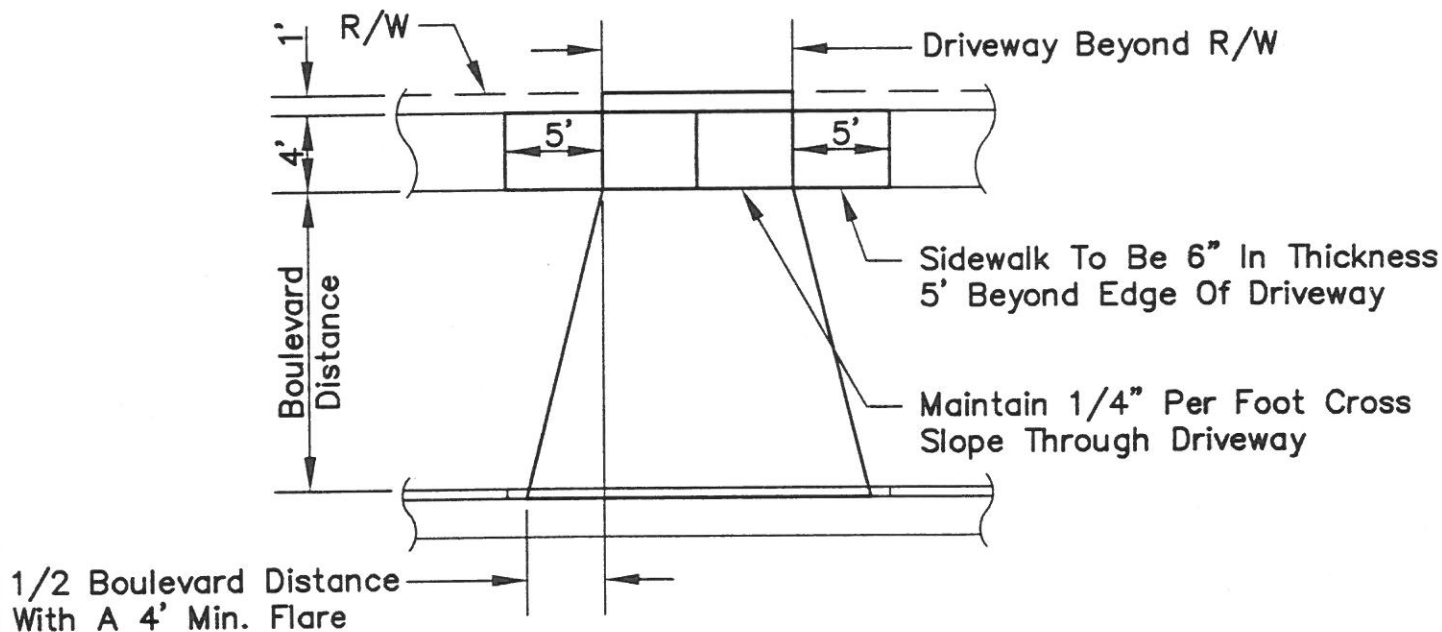
- A. Under this item the Contractor shall improve by construction, reconstruction or repairing as is necessary public sidewalks between limits established by the Engineer.
- B. Sidewalks shall be at least four (4") inches in thickness and in driveway crossings six (6") inches in thickness. When sidewalks abutt with the curb, the width shall be five (5') feet or as wide as the existing sidewalks; in either case, a minimum width of four (4') feet shall be adhered to. Edge of walks adjacent to the property line of the street shall be placed at least one (1') foot from the property line or meet existing sidewalks. The Engineering Department will give line and grade.
- C. Old concrete sidewalk material shall be removed and granular material used for fill if necessary to meet grade.
- D. All work shall conform to the standard specifications published by the Ohio Department of Transportation (O.D.O.T.) and the City, in effect at the date of contract and the requirements under these specifications.
 - 1. Referenced O.D.O.T. specifications as follows:
 - 608. concrete walks
 - 499. concrete
 - 511.12 depositing and curing concrete in cold weather

II. MATERIALS AND FINISH:

- A. A minimum 3" thick #10 crushed limestone base shall be provided and compacted in place.
- B. The concrete mix shall be a minimum of a 6' bag mix with 5 to 6% air entrainment. All surface area shall be broom finished and sealed with an Engineer approved concrete sealer. All joints shall be trowel-cut with a maximum joint spacing of 5 feet. The depth of cut shall be a minimum $\frac{1}{4}$ of the thickness of the slab. The final trowel-cut and edging shall be done after the final brooming. Expansion joints shall be placed at a maximum of 40 feet and at all intersecting walks.



Drop Curb Section



Concrete Drive Approach

* Any Variance From Detail To Be Approved By City Of Napoleon Engineering Department *

CITY OF NAPOLEON
ENGINEERING DEPARTMENT
PO BOX 151 / 255 W. RIVERVIEW AVE.
NAPOLEON, OHIO 43545
PHONE NO. (419) 592-4010
FAX NO. (419) 599-8393

Drive Approach
And Drop Curb
Standard Detail

RDSD

DATE: 10/27/98

DRAWN BY: M.B.S.

APPROVED BY: A.C.H.

SCALE: NTS

SHEET ___ OF ___

MINIMUM REQUIREMENTS FOR RESIDENTIAL CONSTRUCTION, SITE DEVELOPMENT & UTILITY SPECIFICATIONS.

1. Two complete sets of plans are required. Plans shall include elevation drawings, floor plan for all floors including basement showing window sizes, foundation and footer details, electrical layout, plumbing layout, ducting layout, lot grading plan and site plan showing utility location (water service, sanitary sewer, storm sewer and electrical service).

2. Minimum line size and pipe types are as follows;

(a). Water service line size shall be 1" CTS (copper tubing size polyethylene) or type K copper tubing. If polyethylene tubing is used a 12 gauge tracing wire shall be buried along side the entire length of the line and into the building. Backflow prevention devices are required and must be mounted in a horizontal position. All hose bibbs shall be equipped with vacuum breakers.

(b). Sanitary sewer shall be minimum 4" PVC SDR 35 gasket joint pipe and a cleanout shall be located at 18" from building wall.

(c). Storm sewer shall be a minimum of 4" field tile with approved adapters. Footer tiles and sump pumps may discharge to the storm sewer. Roof drains and down spouts shall discharge over the ground.

3. Sidewalks are required in most developments in accordance with City specifications. Concrete drive approaches 6" minimum thickness with a minimum 4" stone base are required from the curb to the front property line. Driveway outside of the City right of way shall be a minimum of 4" thick concrete with a minimum of 4" stone base. Sand shall not be permitted for any type of backfill or base.

4. Electrical service shall comply with the City of Napoleon specifications, aluminum conductors shall not be permitted. Underground conductors shall be installed by the City of Napoleon the cost of which shall be born by the user. Installation of electrical service shall not be completed until the City receives full payment for the service installation.

This is not a complete list of requirements, other regulations are applicable including the requirements of the Napoleon City Code of Ordinances and Ohio Building Officials Association (OBOA) code. Inspections are required for all the above.

RSDUS

NEW HOMES & ADDITIONS

REQUIRED INSPECTIONS

1. Location and setback prior to any excavation.
2. Footer excavation and forming, prior to pouring concrete.
3. Foundation walls prior to pouring and before back-filling, garage floor before pouring, & driveway and sidewalks before pouring.
4. Structural inspection for exterior & interior walls, floor system, roof system and stairways.
5. Rough-in for electrical, mechanical, plumbing and insulation.
6. Siding, interior wall covering (drywall), fire place and other specialty items.
7. Final inspection on electrical, mechanical, & plumbing.
8. Final on stairways banisters & balusters, guard rails, smoke detectors.

Occupancy for new homes & additions is issued only after the above inspections have been approved. In addition, for new homes, water meters must be installed and utilities must be placed in the name of the person who will occupy the dwelling.

For inspections call (419) 592-4010 ask for Brent Damman.